PROPOSED TWO STOREY DWELLING DEVELOPMENT

AT 11 MERRIS STREET, KINGSGROVE

PROJECT INFORMATION	
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S4.55 101	SPECIFICATIONS
S4.55 102	SITE ANALYSIS & STREETSCAPE
S4.55 103	SITE PLAN
S4.55 104	SITE CALCULATION
S4.55 201	GROUND FLOOR
S4.55 202	FIRST FLOOR
S4.55 203	ROOF PLAN

PROJECT INFORMATION	
SHEET No.	**SHEET NAME**
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S4.55 301	ELEVATIONS 2-2
S4.55 302	SECTIONS 1-1 & 2-2
S4.55 303	3D PERSPECTIVE 01
S4.55 304	3D PERSPECTIVE 02
S4.55 400	SHADOW DIAGRAMS
S4.55 500	DEMOLISION, EROSION, SEDIMENT CONTROL PLAN
S4.55 601	WINDOWS & ALUMINUM DOOR SCHEDULE 1-2

PROJECT INFORMATION	
SHEET No.	**SHEET NAME**
S4.55 602	WINDOWS & ALUMINUM DOOR SCHEDULE 1-2
S4.55 700	BASIX COMMITMENT 1-2
S4.55 701	BASIX COMMITMENT 2-2
S4.55 800	SCHEDULE OF FINISHES

Grand total: 20

BRYAN DESIGN
ARCHITECTURAL SOLUTIONS

PROJECT DETAILS

PROPOSED TWO STOREY DWELLING DEVELOPMENT

AT

11 MERRIS STREET, KINGSGROVE

PROJECT NO: **22132**

CLIENT DETAILS: **MR. HUY**

PROJECT STATUS:

ISSUED FOR S4.55 SUBMISSION

ISSUE:

A

GENERAL NOTES: SPECIFICATION NOTES

General Notes

Coordination
Refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify any discrepancies between the architectural and/or
other consultants documentation prior to proceeding with the works.

Specifications and Schedules
Refer to and coordinate with applicable Specifications and Schedules. Notify any discrepancies between documents prior to proceeding with the works.

Detail Drawings
Drawings at larger scales take precedence over drawings at smaller scales, Notify any discrepancies prior to proceeding with the works.

Execution of the works
Execute the works in accordance and compliance with:
-The approved Development Application and in accordance with the relevant Conditions of Consent and other relevant Local Authority requirements;
-The requirements scheduled by a current BASIX Certificate consistent with the works.
-The current edition of the Building Code of Australia (as amended); and
-Current editions of the relevant Australian and other applicable published standards relevant to the execution of the works.

Units of measurement
Dimensions are shown in millimetres unless noted otherwise.

Materials handling and storage
Material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

Structure
Foundations, footings, reinforced concrete slabs, retaining walls, framing, bracing, tie-down and other structural elements are to be constructed in accordance with the Structural
Engineer's details and specifications.

Hydraulics
Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be constructed in accordance with Local Authority and Hydraulic Engineer's requirements.
General
Specifications
Execute the works in compliance with the relevant deemed-to-satisfy provisions of the Building Code of Australia (BCA)
(Volume 2), current editions of relevant Australian and other applicable published Standards and the relevant requirements of Local and/or Statutory Authorities applicable to the execution of the works. This schedule of codes and standards outlines the minimum acceptable standards.
Termite protection
Provide termite protection: In accordance with Part 3.1.3 -Termite Risk Management of the BCA (Volume 2) and to AS 3660.1 (Termite management - New building work)
Provide professional certification of the termite protection measures to the principal certifying authority, confirming compliance with the provisions of the BCA and Australian Standard.
Flashing and damp-proof courses Flashings and damp-proof courses: To AS/NZS 2904 (Damp proof courses and flashings).

Fasteners
Steel nails: Hot-dip galvanised to AS/NZS 4680 (Hot-dip glavanised (zinc) coatings on fabricated ferrous articles).
Self-drilling screws: To AS 3566.1 (Self-drilling screws for the building and construction industries)

Metal finishes
Corrosion protection: To BCA Volume 2 clause 3.4.2.2 (Acceptable construction - Framing - Steel framing - General).

Site Preparation
Demolition
Demolish existing structures as shown: To AS 2601 (Demolition of structures).
Earthworks
To be carried out in accordance with:
The requirements of the Environmental Planning & Assessment Act 1979;
Relevant conditions of the development consent; and the relevant requirements of Part 3.1.1 of the BCA (Volume 2).
Stormwater drainage
Part 3.1.2 of the BCA (Volume 2) and AS/NZS 3500 (Part 3 - Stormwater drainage).
AS/NZS 3500 (Part 5 - Domestic installations - Section 5 - stormwater drainage).

Structural design
For details of structural footings, slabs, framing and the like refer to structural engineering details, to be prepared by a qualified structural engineer.
Structural design is to be in accordance with the relevant structural design manuals.
Site Classification
To be in accordance with Part 3.2.4 of the BCA (Volume 2)
Structural design manuals
AS 1170.1 (Dead and live loads and load combinations)
AS 1170.2 (AS 4055 - Wind loads) AS 1170.4 (Earthquake loads)
AS 1720.1 (Timber structures code) AS 2159 (Piling - design and installation)
As 2327.1 (Composite structures)
AS 3600 (Concrete structures)
AS 4100 (Steel structures)
Structural design certification
Submit structural engineer's design certification, in accordance with Local Authority requirements, the Principal Certifying Authority prior to the commencement of works.

Concrete construction
Concrete structures generally: To AS 3600 (Concrete structures).
Ground Slabs and footings: To AS 2870 (Residential slabs and footings - Construction).
Ready mixed supply: To AS 1379
(Specification and supply of concrete). Footings and slabs
Design and construct footings and slabs: In accordance with Part 3.2 of the BCA (Volume 2) and AS 2870
(Residential slabs and footings), AS 3600 (Concrete structures) and AS 2159 (Piling - Design and installation).

Brick & block construction (masonry)
Masonry construction: To be in accordance with Part 3.3 of the BCA (Volume 2) and to AS 3700 (Masonry structures).
Masonry units: To AS/NZS 4455
(Masonry units and segmental pavers). Clay brick durability below damp-proof course: Use exposure category to AS/NZS 4456.10 (Masonry units and segmental pavers - Methods of test -Determining resistance to salt attack) Appendix A (Salt attack resistance categories).

Galvanising
Galvanising mild steel components
(including fasteners) to AS 1214 or AS/NZS 4680, as appropriate, where exposed to weather, embedded in masonry or in contact with chemically treated timber.
Wall Ties
Wall tie type: To BCA Volume 2 clause 3.3.3.2 (Acceptable construction - Masonry - Masonry accessories - Wall ties) and AS/NZS 2699.1 (Built-in components for masonry construction -Wall ties); Non-seismic areas:
Type A; Seismic areas: Type B.
Wall tie spacing: To BCA Volume 2 Figure 3.3.3.1 (Typical brick ties spacings in cavity and veneer construction).
Wall tie corrosion protection: To BCA Volume 2 Table 3.3.3.1 (Corrosion protection for wall ties).
Lintels generally: In accordance with Part 3.3.3.4 of the BCA (Volume 2).

Timber & steel framed construction
Sub-floor ventilation
To be in accordance with Part 3.4.1 of the BCA (Volume 2)
Timber wall, floor and roof framing Timber framing: To be in accordance with Part 3.4 of the BCA (Volume 2) and
AS 1684.4 (Residential timber-framed construction - Simplified - Non-cyclonic) or AS 1720.1 (Timber structures -Design methods).
Steel framing and structural steel members
Steel framing: to be in accordance with Part 3.4.2 of the BCA (Volume 2). Acceptable construction practice (Part 3.4.2.1 of the BCA) and / or
AS 4100 (Steel structures)
Cold-formed steel framing: Provide a proprietary system designed to AS 3623 (Domestic metal framing).

Roof and wall cladding
Roof tiling
To be in accordance with Parts 3.5.1.1 & 3.5.1.2 of the BCA (Volume 2) and AS 2049 (Roof tiles).
Roof tile installation: To AS 2050
(Installation of roofing tiles).
Metal roof sheeting
To be in accordance with Parts 3.5.1.1 & 3.5.1.3 of the BCA (Volume 2). Metal roofing design and installation: To AS 1562.1 (Design and installation of sheet roof and wall cladding - Metal).
Roof plumbing
To be in accordance with Part 3.5.2 of the BCA (Volume 2) and AS/NZS 3500 (Part 3 - Stormwater drainage) and AS/NZS 3500 (Part 5 - Domestic installation - section 5 - stormwater drainage).
Wall cladding
To be in accordance with Part 3.5.3 of the BCA (Volume 2)
nstallation and sarking
Bulk insulation: To AS/NZS 4859.1
(Materials for the thermal insulation of buildings - General criteria and technical provisions), Section 5. Reflective insulation: To AS/NZS 4859.1, Section 9.
Sarking material: To AS/NZS 4200.1 (Pliable building materials and underlays - Materials).

Windows and doors
Glazing to be in accordance with Part 3.6 of the BCA (Volume 2).
Glass Selection and installation: To AS 1288 (Glass in buildings -Selection and installation).
Timber doorsets: To AS 2688 (Timber doors).
Timber frames and jamb linings: To AS 2689 (Timber doorsets)
Security screen doors and window grilles: To AS 5039 (Security screen doors and security window grilles). Window selection and installation: To AS 2047 (Windows in buildings - Selection and installation).
Doorset installation: To AS 1909
(Installation of timber doorsets). Garage doors: To AS/NZS 4505
(Domestic garage doors).

Lining
Plasterboard: To AS/NZS 2588
(Gypsum plasterboard). Plasterboard installation: To AS/NZS 2589.1 (Gypsum linings in residential and light commercial construction -Application and finishing - Gypsum plasterboard) Level 4 finish.
Fibre cement: To AS/NZS 2908.2
(Cellulose-cement products - Flat Sheets),
Type B, Category 2.
Fibrous plaster products: To AS 2185 (Fibrous plaster products).

Health and amenity
Wet areas
Refer to "Waterproofing".
Room heights
To be in accordance with Part 3.8.2 of the BCA (Volume 2).
Kitchen, sanitary and washing facilities
To be in accordance with Parts 3.8.3.2 and 3.8.3.3 of the BCA (Volume 2).
Natural and artificial light
To be in accordance with Parts 3.8.4.2 and 3.8.4.3 of the BCA (Volume 2).
Ventilation
To be in accordance with Part 3.8.5 of the BCA (Volume 2).
Natural Ventilation: Parts 3.8.5.2 and 3.8.5.3 of the BCA (Volume 2). Mechanical Ventilation: Parts 3.8.5.0 and 3.8.5.3 of the BCA (Volume 2).
Sound insulation
To be in accordance with Part 3.8.6.1 of the BCA (Volume 2).

Safe movement and access
Stair construction
To be in accordance with Part 3.9.1.1 of the BCA (Volume 2) - Acceptable construction practice.
Balustrades
To be in accordance with Part 3.9.2.1 of the BCA (Volume 2) - Acceptable construction practice.

Block and tile finishes
Ceramic tiling: Follow the guidance provided by AS 3958.1 (Ceramic tiles -Guide to the installation of ceramic tiles) and AS 3958.2 (Ceramic tiles - Guide to the selection of a ceramic tiling system). Adhesives: To AS 2358 (Adhesives -For fixing ceramic tiles).

Waterproofing
To be in accordance with Part 3.8.1 of the BCA (Volume 2).
Waterproofing: To AS 3740
(Waterproofing of wet areas in residential buildings).
Refer to architectural details of waterproofing.

Floor coatings and coverings
Carpeting: To AS/NZS 2455.1 (Textile floor coverings - Installation practice -General).
Resilient finishes: To AS 1884 (Floor coverings - Resilient sheet and tiles -Laying and maintenance practices).

Painting
Painting generally: Follow the guidance provided by AS/NZS 2311 (Guide to the painting of buildings) and AS/NZS 2312 (Guide to the protection of structural steel against atmospheric corrosion by the use of protective coatings).
Plumbing installations
Where a discrepancy arises the hydraulic consultant's, local or statutory authority's requirements take precedence over the following standards to the extent of the discrepancy. Plumbing and draining products: To SAA MP52 (Manual of authorization procedures for plumbing and drainage products) and AS/NZS 3718 (Water supply - Tap ware).
Stormwater: To AS/NZS 3500.3
(Plumbing and Drainage - Stormwater drainage) or AS/NZS 3500.5 (National Plumbing and Drainage - Domestic installations).
Wastewater: To AS/NZS 3500.2
(Plumbing and Drainage - Sanitary plumbing and drainage) or AS/NZS 3500.5.
Freshwater: To AS/NZS 3500.1
(Plumbing and Drainage - Water services) and AS/NZS 3500.4 (Plumbing and Drainage - Heated water services) or AS/NZS 3500.5.
Gas: To AS 5601 (Gas installation code).

Electrical installations
Where a discrepancy arrises the electrical consultant's, local or statutory authority's requirements take precedence over the following standards to the extent of the discrepancy. Electrical installation: To AS/NZS 3018 (Electrical installation - Domestic installations).
Smoke Alarms: Refer to "Fire Safety, Smoke Alarms".
Smoke alarm installation and testing: To AS 1670.1 (Fire detection, warning, control and intercom systems - System design, installation, and commissioning -Fire) in accordance with the requirements of the Building Code of Australia. Connect smoke alarms to mains power.
Test electrical installations: To AS/NZS 3017 (Electrical installations - Testing guidelines). Certify compliance with AS/NZS 3018.

Mechanical installations
Mechanical ventilation: To AS 1668.2
(The use of ventilation and air-conditioning in buildings - Mechanical ventilation for acceptable indoor
quality) - Grade 2 amenity.

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PROJECT DETAILS:
PROPOSED TWO STOREY DWELLING DEVELOPMENT

AT
11 MERRIS STREET, KINGSGROVE

PROJECT NO.
22132

LOGGED AT
CANTERBURY-BANKSTOWN COUNCIL

PROJECT STATUS:
ISSUED FOR S4.55 SUBMISSION

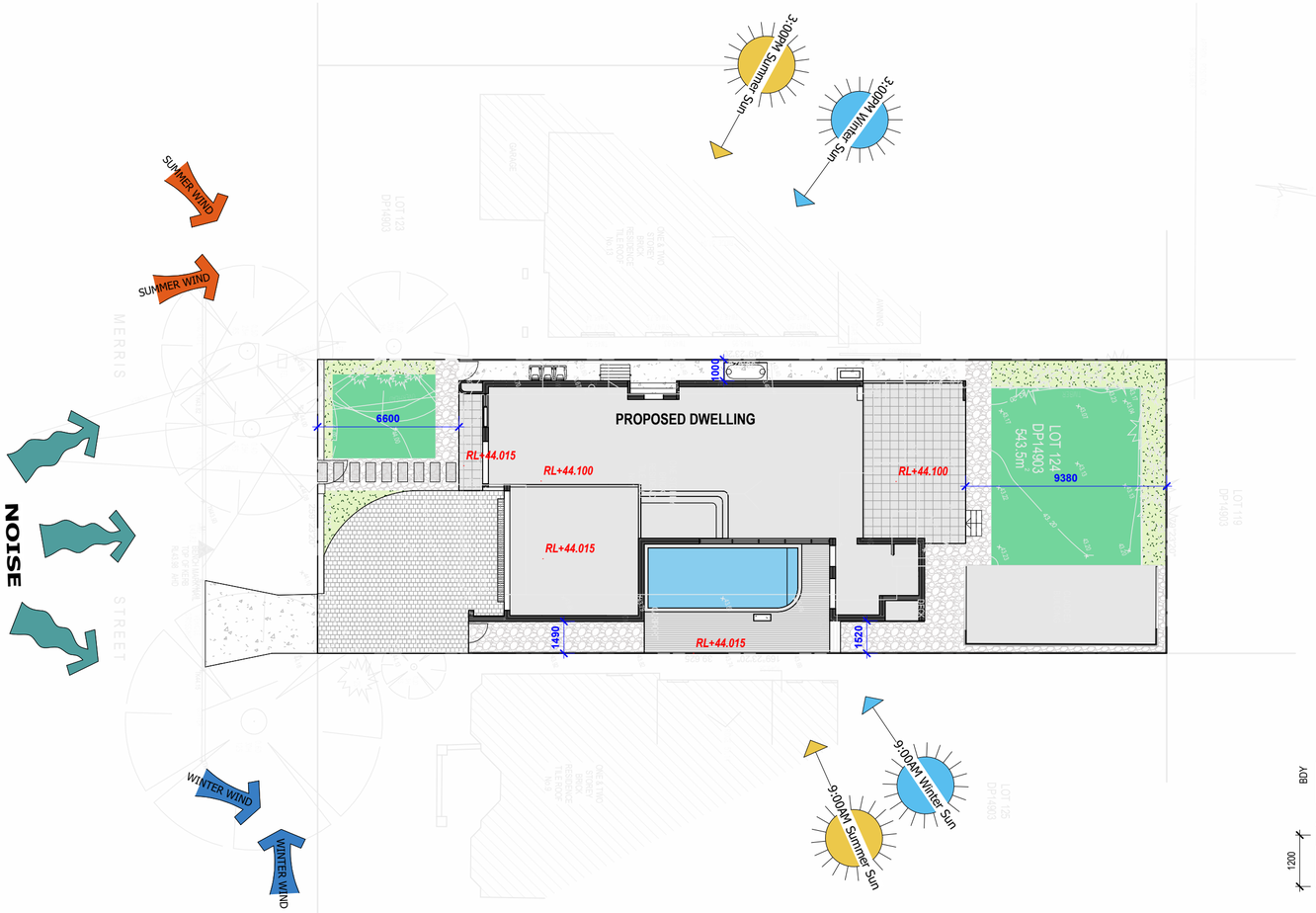
CLIENT DETAILS:
MR. HUY

ISSUE DETAILS

REV	DATE	DESCRIPTION	INITIAL
A	2025.04.28	ISSUED FOR SECTION S4.55 APPROVAL ONLY	DN

DRAWING DETAILS
SPECIFICATIONS

START DATE **14/07/22**
SCALE **1 : 200**
ISSUE **A**
DRAWN BY **D.N**
DRAWING NO. **S4.55 101**
CHECKED BY **D.N**



SITE ANALYSIS

SCALE: 1 : 200

SITE DETAILS

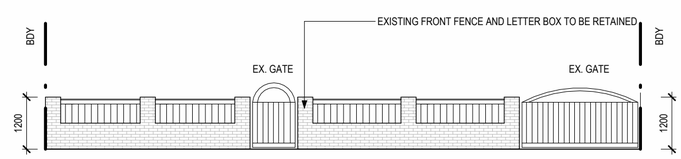
ADDRESS:	**11 MERRIS STREET, KINGSGROVE**
	LOT 124 DP14903
LOT AREA	**543.48 m²**
LOT FRONTAGE	**13.75 m**

CANTERBURY- BANKSTOWN DCP 2023

	ALLOWED	PROVIDED
F.S.R. MAX	**0.50:1**	**0.50:1**
GROSS FLOOR AREA MAX.	**271.74 m²**	**269.77 m²**
SITE COVERAGE	**271.74 m²** (50% OF LOT AREA)	**171.16 m²** (31.49% OF LOT AREA)
SETBACK MIN.		
PRIMARY FRONT SETBACK (6.0M OR AVERAGE OF NEIGHBOUR)	**6.575m**	**1.0m**
SIDE SETBACK	**1.0m**	**1 m**
REAR SETBACK	**6.0m**	**9.38m**
BUILDING HEIGHT	**8.5m**	**7.6m**
LANDSCAPE AREA MIN. DEEP SOIL AREA (20% LOT AREA)	**108.70 m²**	**162.24 m²**
PRIVATE OPEN SPACE	**Min.100 m²** (MINIMUM DIMENSION OF 6M)	**128.94 m²**

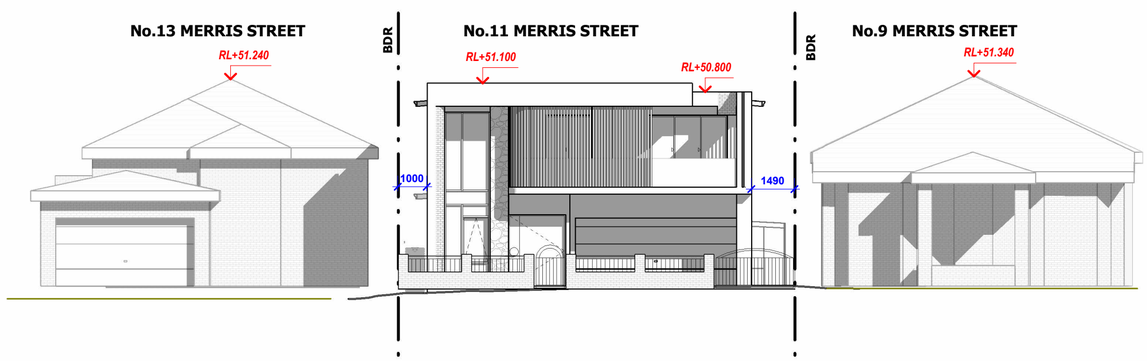
LEGEND

	CLOTHES LINES
	BINS
	OUTDOOR TAP
	GAS POINT
	RAIN WATER TANK
	HOT WATER UNIT
	GAS METER
	ELECTRIC METER BOX
	DRIVEWAY PAVING
	PROPOSED BUILDING
	PROPOSED CONCRETE AREA



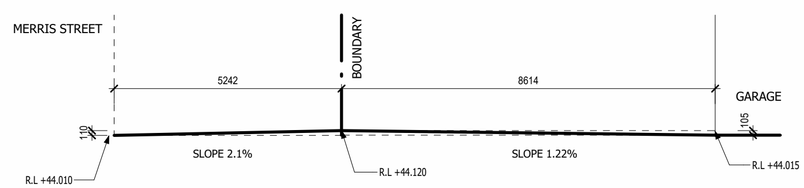
FRONT FENCE DETAILS

SCALE: 1 : 100



STREETSCAPE ELEVATION

SCALE: 1 : 150



GENERAL NOTE

ALL OFF-STREET CAR PARKING SPACES AND VEHICLE ACCESS MUST COMPLY WITH AS/NZS 2890.1:2004, PARKING FACILITIES, PART 1: OF -STREET CAR PARKING

DRIVEWAY PROFILE SECTION

SCALE: 1 : 100

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CLIENT DETAILS:
MR. HUY

ISSUE DETAILS

REV	DATE	DESCRIPTION	INITIAL
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DRAWING DETAILS
SITE ANALYSIS & STREETSCAPE

START DATE
14/07/22

DRAWN BY
D.N

CHECKED BY
D.N

SCALE
As indicated

DRAWING NO.
S4.55 102

ISSUE
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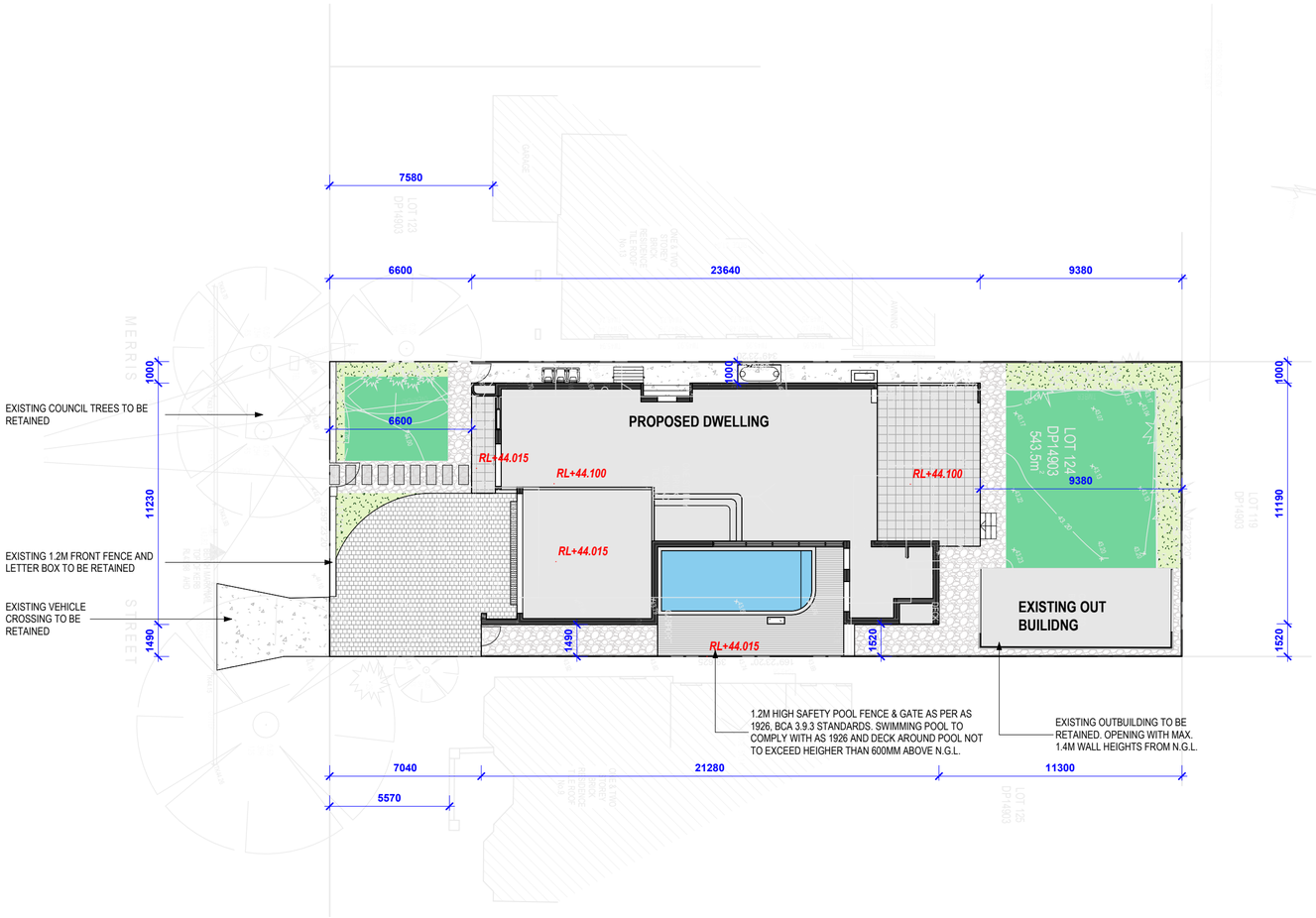

SITE PLAN

SCALE: 1 : 200

SITE DETAILS

ADDRESS:	**11 MERRIS STREET, KINGSGROVE**
	LOT 124 DP14903
LOT AREA	**543.48 m²**
LOT FRONTAGE	**13.75 m**

CANTERBURY- BANKSTOWN DCP 2023

	ALLOWED	PROVIDED
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LEGEND

	CLOTHES LINES
	BINS
	OUTDOOR TAP
	GAS POINT
	RAIN WATER TANK
	HOT WATER UNIT
	GAS METER
	ELECTRIC METER BOX
	DRIVEWAY PAVING
	PROPOSED BUILDING
	PROPOSED CONCRETE AREA

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MR. HUY

ISSUE DETAILS

REV	DATE	DESCRIPTION	INITIAL
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DRAWING DETAILS
SITE PLAN

START DATE
14/07/22

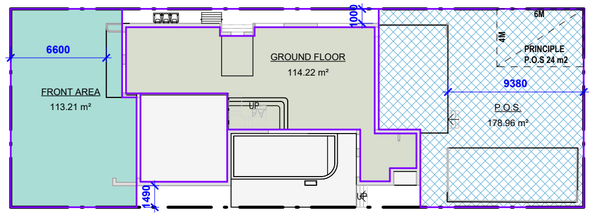
DRAWN BY
D.N

CHECKED BY
D.N

SCALE
As indicated

DRAWING NO.
S4.55 103

ISSUE
A

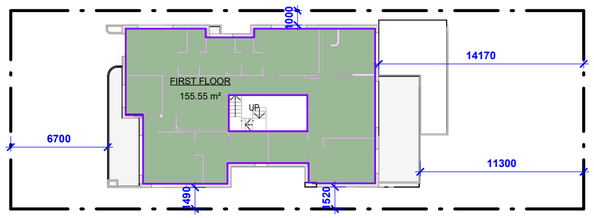


LEGEND

- FRONT AREA
- GROUND FLOOR
- P.O.S.

GROSS AREA CALCULATION- GROUND FLOOR

SCALE: 1 : 300

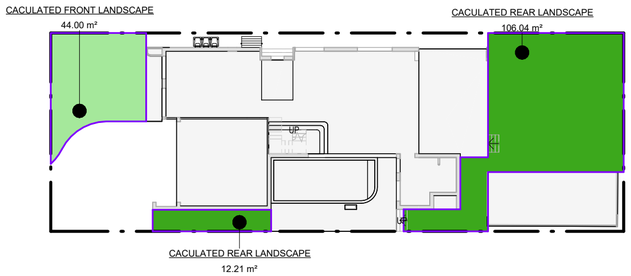


LEGEND

- FIRST FLOOR

GROSS AREA CALCUALTION- FIRST FLOOR

SCALE: 1 : 300

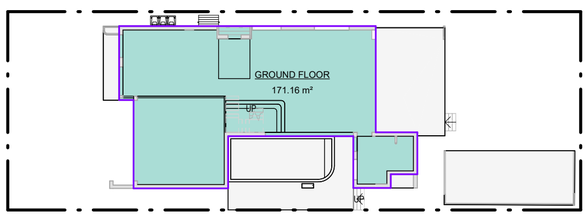


LEGEND

- CACULATED FRONT LANDSCAPE
- CACULATED REAR LANDSCAPE

LANDSCAPE CALCULATION PLAN

SCALE: 1 : 300



LEGEND

- GROUND FLOOR

SITE COVERAGE CALCULATION

SCALE: 1 : 300

SITE DETAILS

ADDRESS:	11 MERRIS STREET, KINGSGROVE LOT 124 DP14903
LOT AREA	543.48 m²
LOT FRONTAGE	13.75 m

CANTERBURY- BANKSTOWN DCP 2023

	ALLOWED	PROVIDED
F.S.R. MAX	0.50:1	0.50:1
GROSS FLOOR AREA MAX.	271.74 m²	269.77 m²
SITE COVERAGE	271.74 m² (50% OF LOT AREA)	171.16 m² (31.49% OF LOT AREA)
SETBACK MIN.		
PRIMARY FRONT SETBACK (6.0M OR AVERAGE OF NEIGHBOUR)	6.575m	1.0m
SIDE SETBACK	1.0m	1 m
REAR SETBACK	6.0m	9.38m
BUILDING HEIGHT	8.5m	7.6m
LANDSCAPE AREA MIN. DEEP SOIL AREA (20% LOT AREA)	108.70 m²	162.24 m²
PRIVATE OPEN SPACE	Min.100 m² (MINIMUM DIMENSION OF 6M)	128.94 m²

GROSS AREA CALCULATION

NAME	AREA
MAIN DWELLING	
GROUND FLOOR	114.22 m²
FIRST FLOOR	155.55 m²
	269.77 m²

LANDSCAPE CALCULATION

NAME	AREA
CACULATED FRONT LANDSCAPE	44.00 m²
CACULATED REAR LANDSCAPE	118.25 m²
	162.24 m²

SITE COVERAGE

Name	Area
GROUND FLOOR	171.16 m²

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PROJECT DETAILS:
PROPOSED TWO STOREY DWELLING DEVELOPMENT

AT
11 MERRIS STREET, KINGSGROVE

PROJECT NO.
22132

LOGGED AT
CANTERBURY-BANKSTOWN COUNCIL

PROJECT STATUS:
ISSUED FOR S4.55 SUBMISSION

CLIENT DETAILS:
MR. HUY

ISSUE DETAILS

REV	DATE	DESCRIPTION	INITIAL
A	2025.04.28	ISSUED FOR SECTION S4.55 APPROVAL ONLY	DN

DRAWING DETAILS
SITE CALCULATION

START DATE
21/03/2024

DRAWN BY
D.N

CHECKED BY
D.N

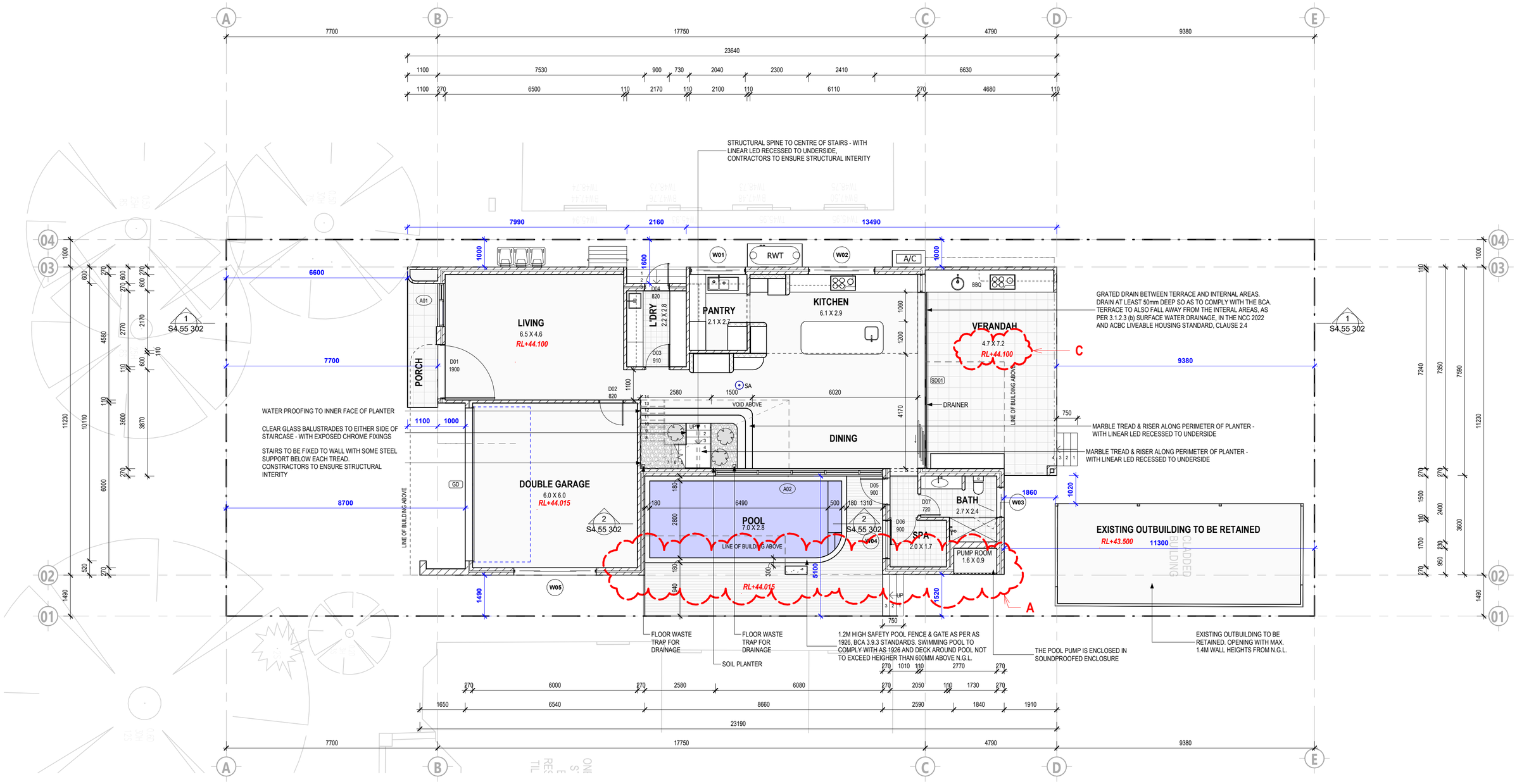
SCALE
As indicated

DRAWING NO.
S4.55 104

ISSUE
A

LEGEND

⊙	SMOKE ALARMS
⊗	MECHANICAL VENTILATION



GROUND FLOOR PLAN

SCALE: 1 : 100

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CANTERBURY-BANKSTOWN COUNCIL

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CLIENT DETAILS:
MR. HUY

ISSUE DETAILS

REV	DATE	DESCRIPTION	INITIAL
A	2025.04.28	ISSUED FOR SECTION S4.55 APPROVAL ONLY	DN

DRAWING DETAILS
GROUND FLOOR

START DATE
08/17/23

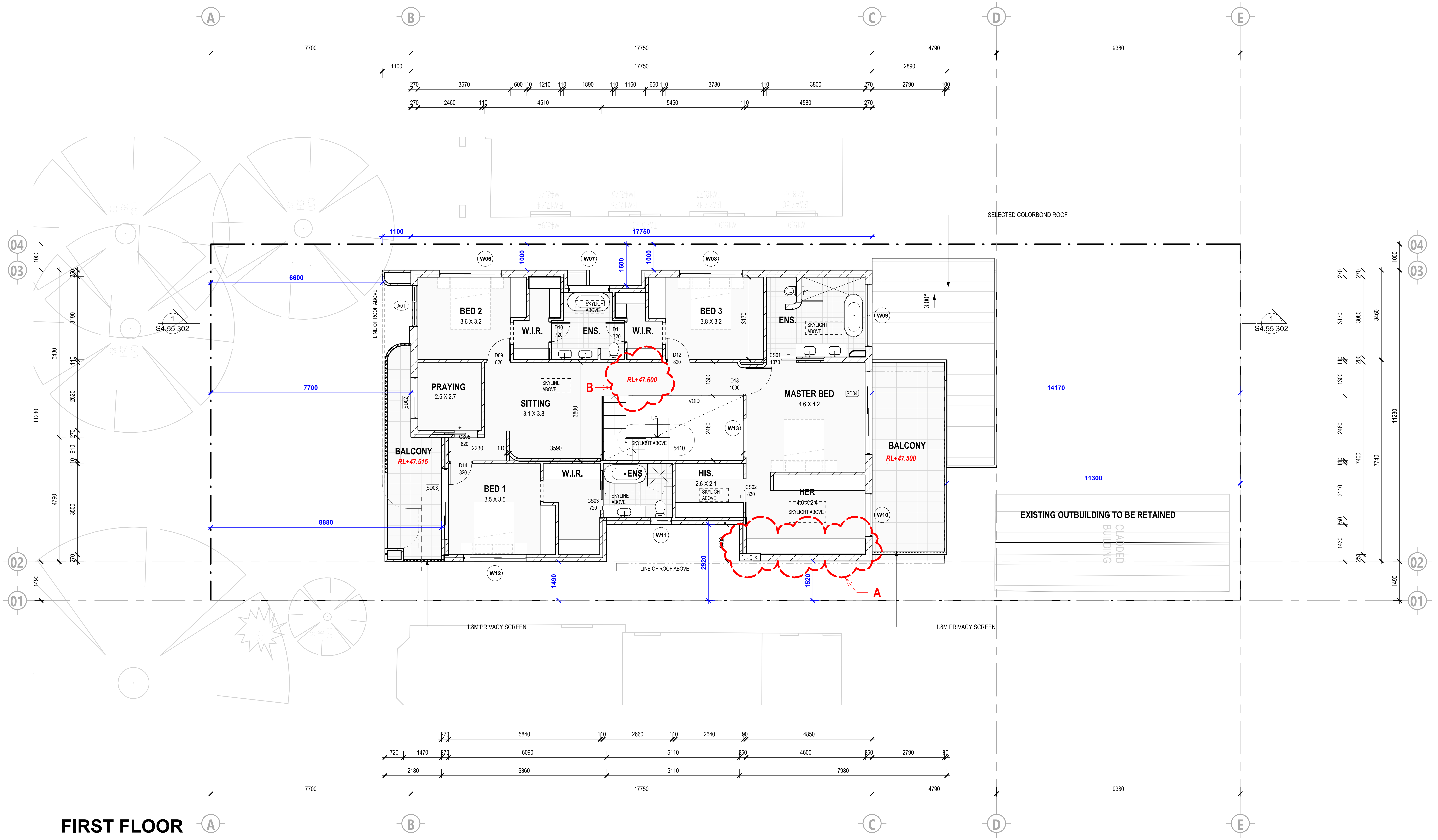
SCALE
1 : 100

ISSUE
A

DRAWN BY
D.N

DRAWING NO.
S4.55 201

CHECKED BY
D.N



FIRST FLOOR

SCALE: 1 : 100

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CLIENT DETAILS:
MR. HUY

ISSUE DETAILS

REV	DATE	DESCRIPTION	INITIAL
A	2025.04.28	ISSUED FOR SECTION S4.55 APPROVAL ONLY	DN

DRAWING DETAILS
FIRST FLOOR

START DATE
05/10/23

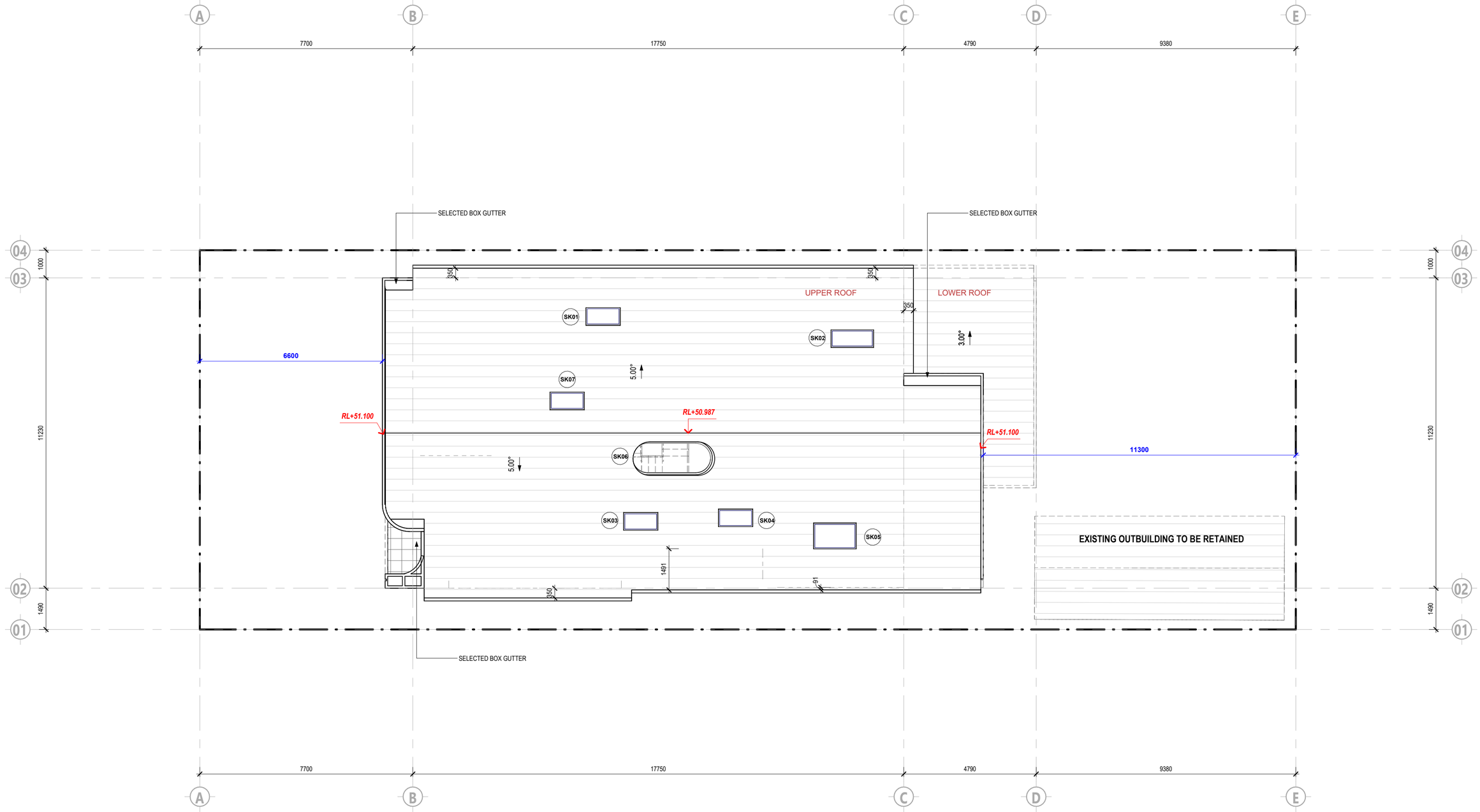
DRAWN BY
D.N

CHECKED BY
D.N

SCALE
1 : 100

DRAWING NO.
S4.55 202

ISSUE
A



ROOF PLAN

SCALE: 1 : 100

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CLIENT DETAILS:
MR. HUY

ISSUE DETAILS

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DRAWING DETAILS
ROOF PLAN

START DATE
05/11/23

DRAWN BY
D.N

CHECKED BY
D.N

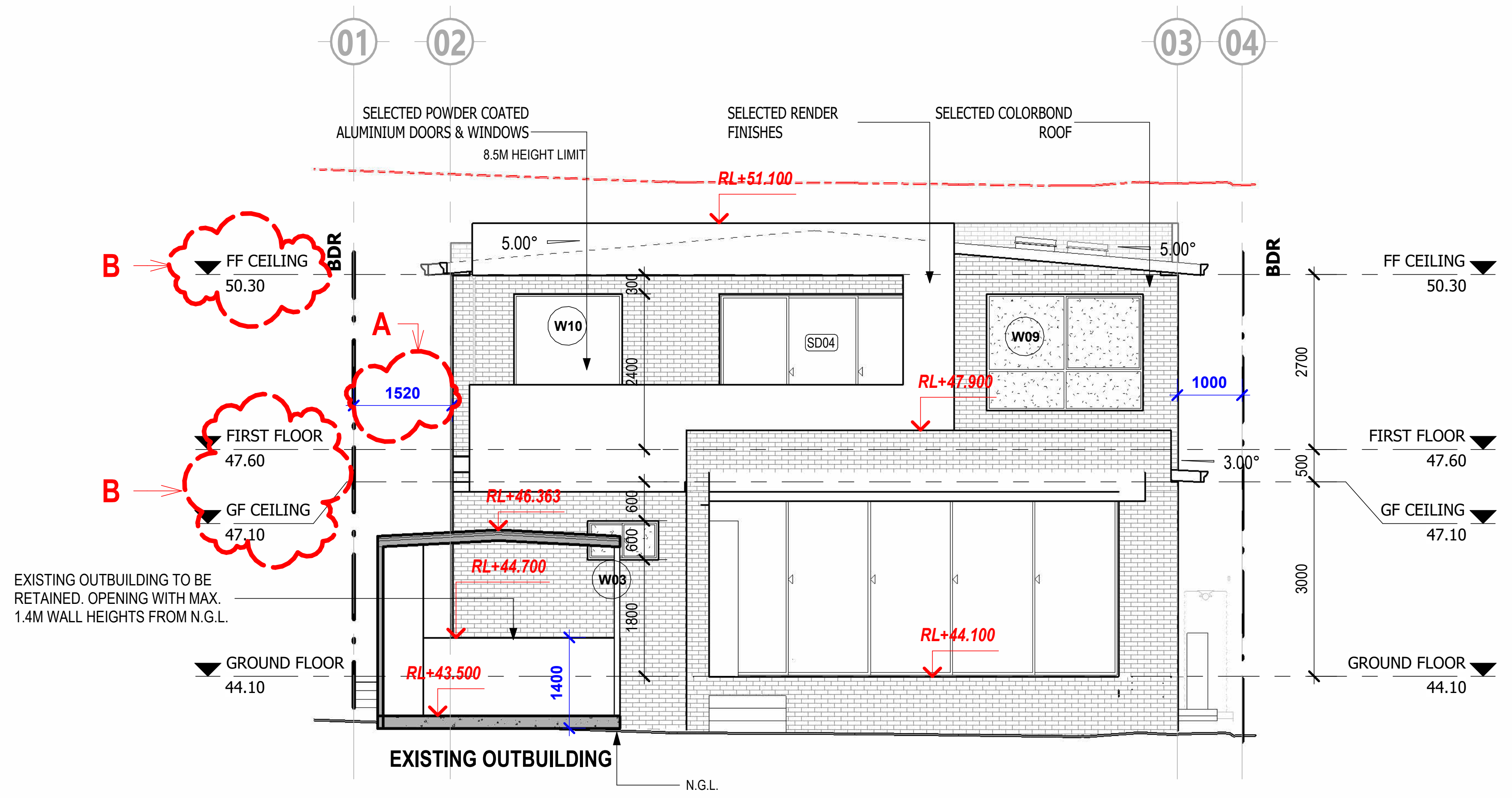
SCALE
1 : 100

DRAWING NO.
S4.55 203

ISSUE
A

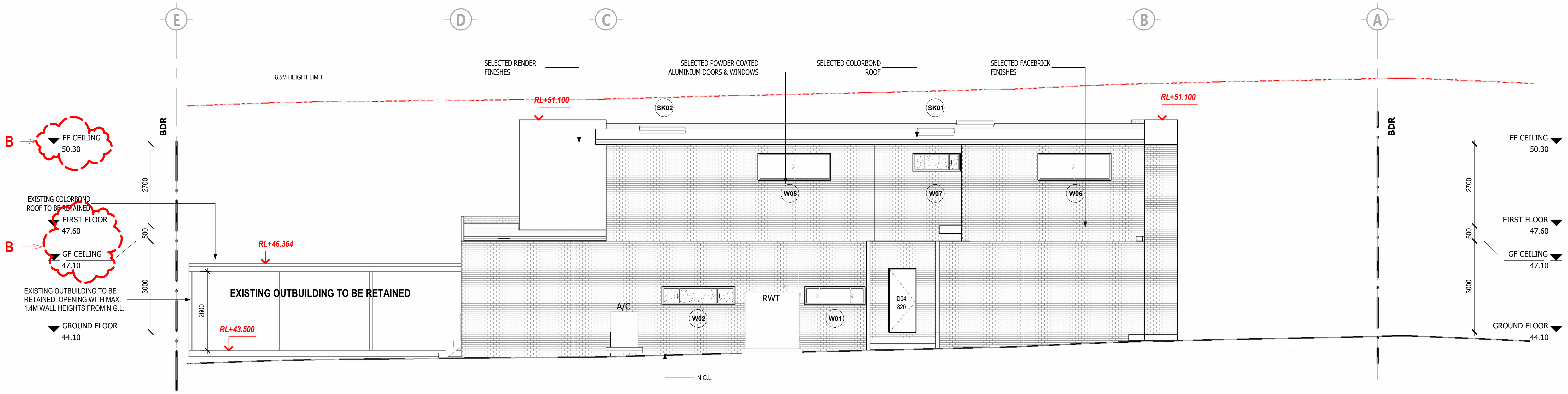
LEGEND

- FROSTED GLASS
- HEIGHT LIMIT
- EXISTING NATURAL GROUND LINE



ELEVATION 01- NORTH

SCALE: 1 : 100



ELEVATION 02- WEST

SCALE: 1 : 100

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MR. HUY

ISSUE DETAILS

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A	2025.04.28	ISSUED FOR SECTION S4.55 APPROVAL ONLY	DN

DRAWING DETAILS
ELEVATIONS 1-2

START DATE
08/17/22

SCALE
1 : 100

ISSUE
A

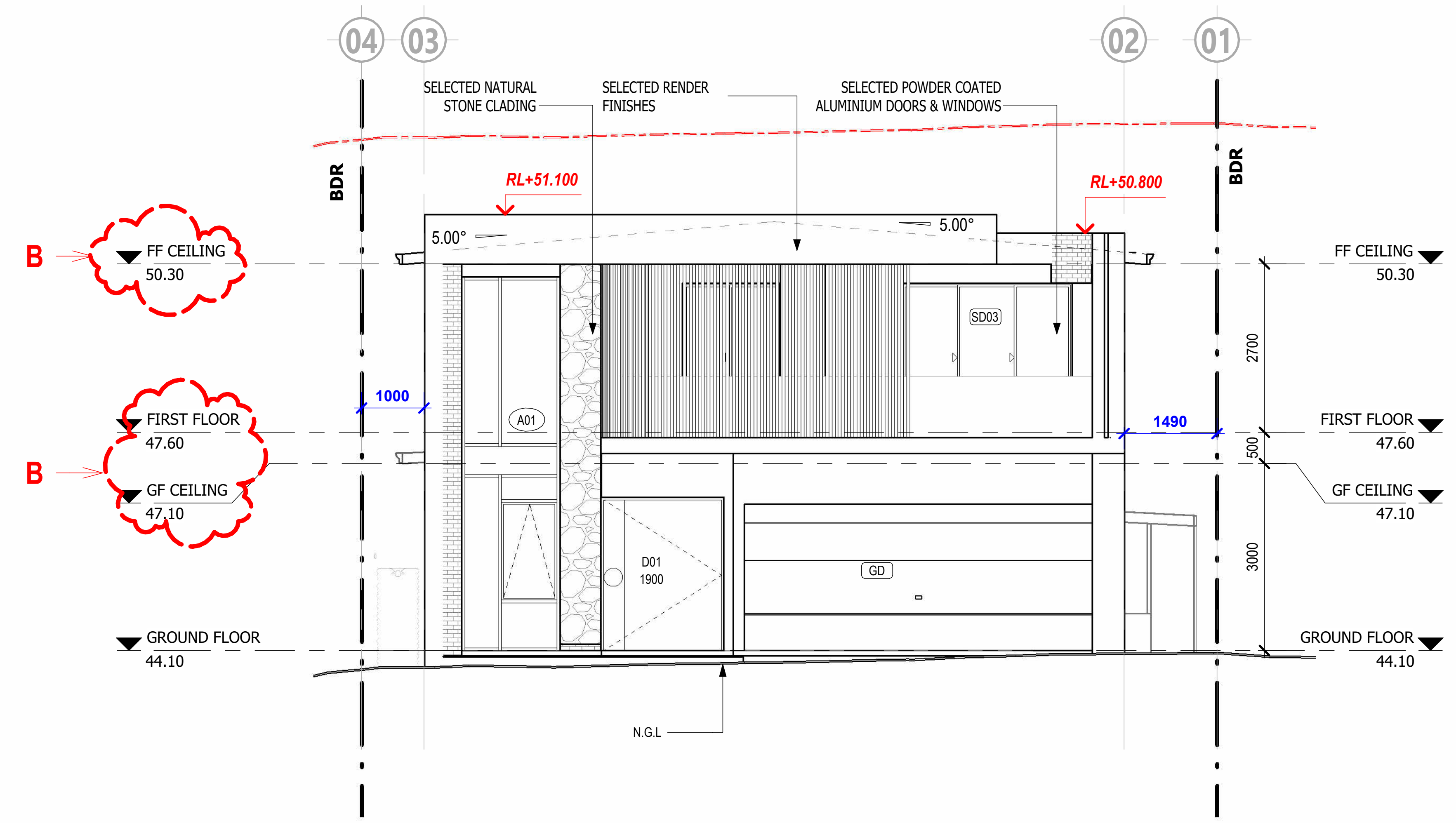
DRAWN BY
D.N

DRAWING NO.
S4.55 300

CHECKED BY
D.N

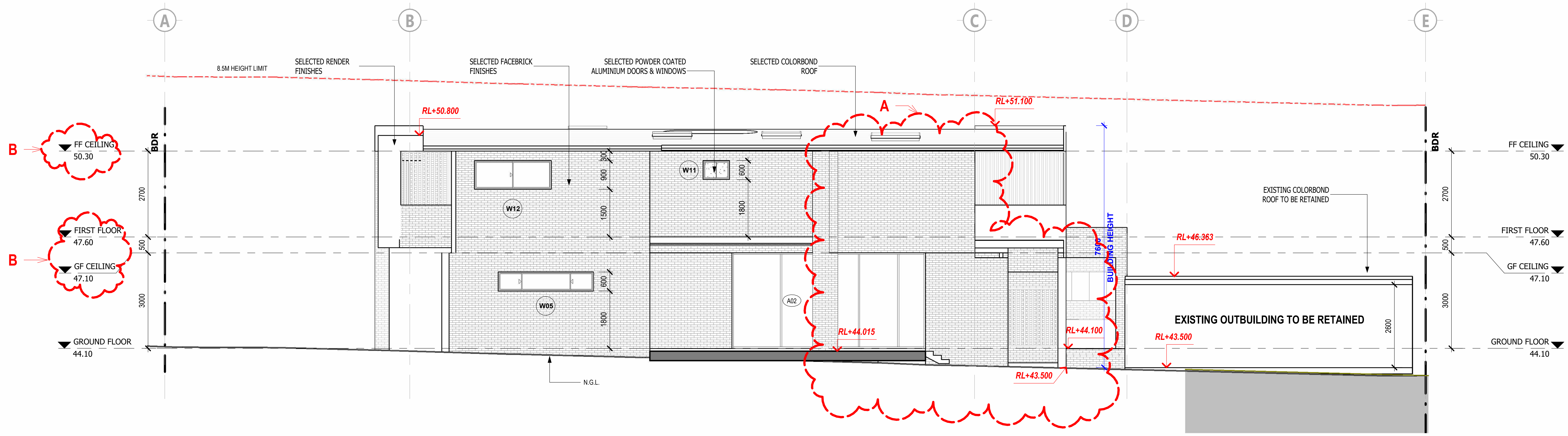
LEGEND

- FROSTED GLASS
- HEIGHT LIMIT
- EXISTING NATURAL GROUND LINE



ELEVATION 03- SOUTH

SCALE: 1 : 100



ELEVATION 04- EAST

SCALE: 1 : 100

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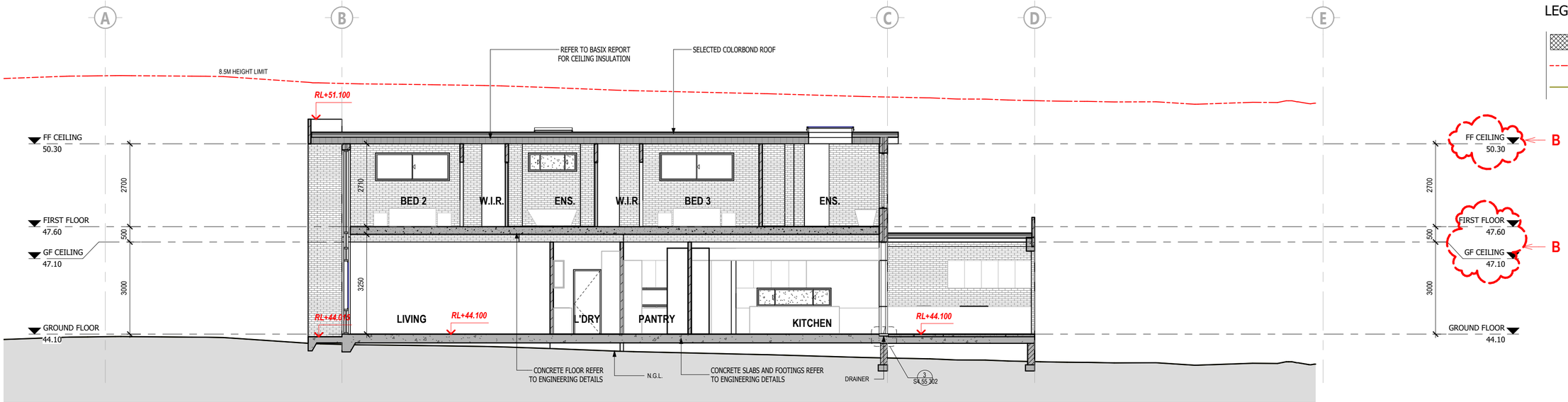
ISSUE DETAILS

REV	DATE	DESCRIPTION	INITIAL
A	2025.04.28	ISSUED FOR SECTION S4.55 APPROVAL ONLY	DN

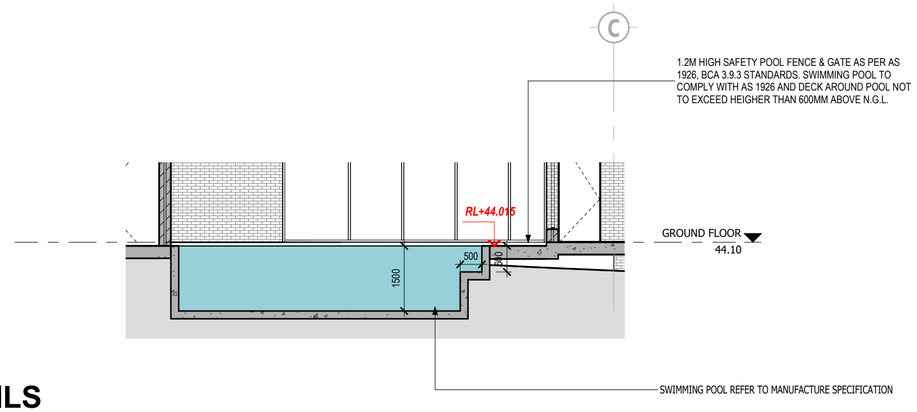
DRAWING DETAILS
ELEVATIONS 2-2

START DATE 08/17/22
SCALE 1 : 100
ISSUE A
DRAWN BY D.N
DRAWING NO. S4.55 301
CHECKED BY D.N



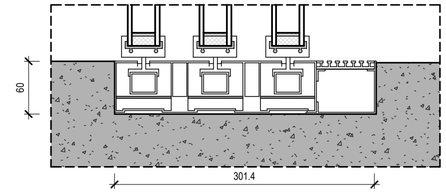
SECTION 1-1

SCALE: 1 : 100



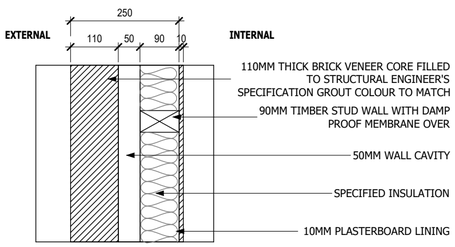
SECTION 2-2- POOL DETAILS

SCALE: 1 : 100

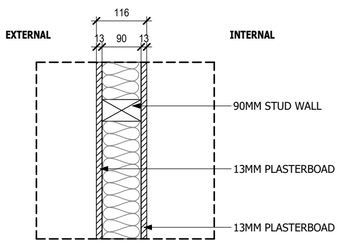


THREE TRACKS + WATER DRAINER

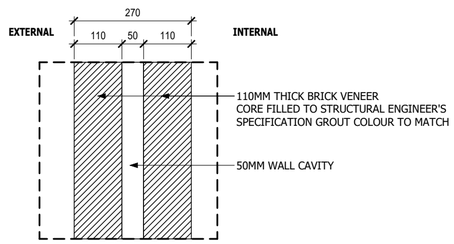
SCALE: 1 : 5



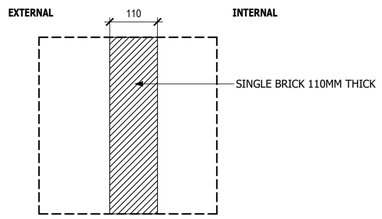
WALL SYSTEM 1: EXTERNAL WALL - BRICK VENEER



WALL SYSTEM 2: INTERNAL WALL - TIMBER FRAME



WALL SYSTEM 3: EXTERNAL WALL - CAVITY BRICK CONSTRUCTION



WALL SYSTEM 4: INTERNAL WALL - SINGLE BRICK

WALL SECTION

SCALE: 1 : 10

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AT
11 MERRIS STREET, KINGSGROVE

PROJECT NO.
22132

LOGGED AT
CANTERBURY-BANKSTOWN COUNCIL

PROJECT STATUS:
ISSUED FOR S4.55 SUBMISSION

CLIENT DETAILS:
MR. HUY

ISSUE DETAILS

REV	DATE	DESCRIPTION	INITIAL
A	2025.04.28	ISSUED FOR SECTION S4.55 APPROVAL ONLY	DN

DRAWING DETAILS
SECTIONS 1-1 & 2-2

START DATE
14/07/22

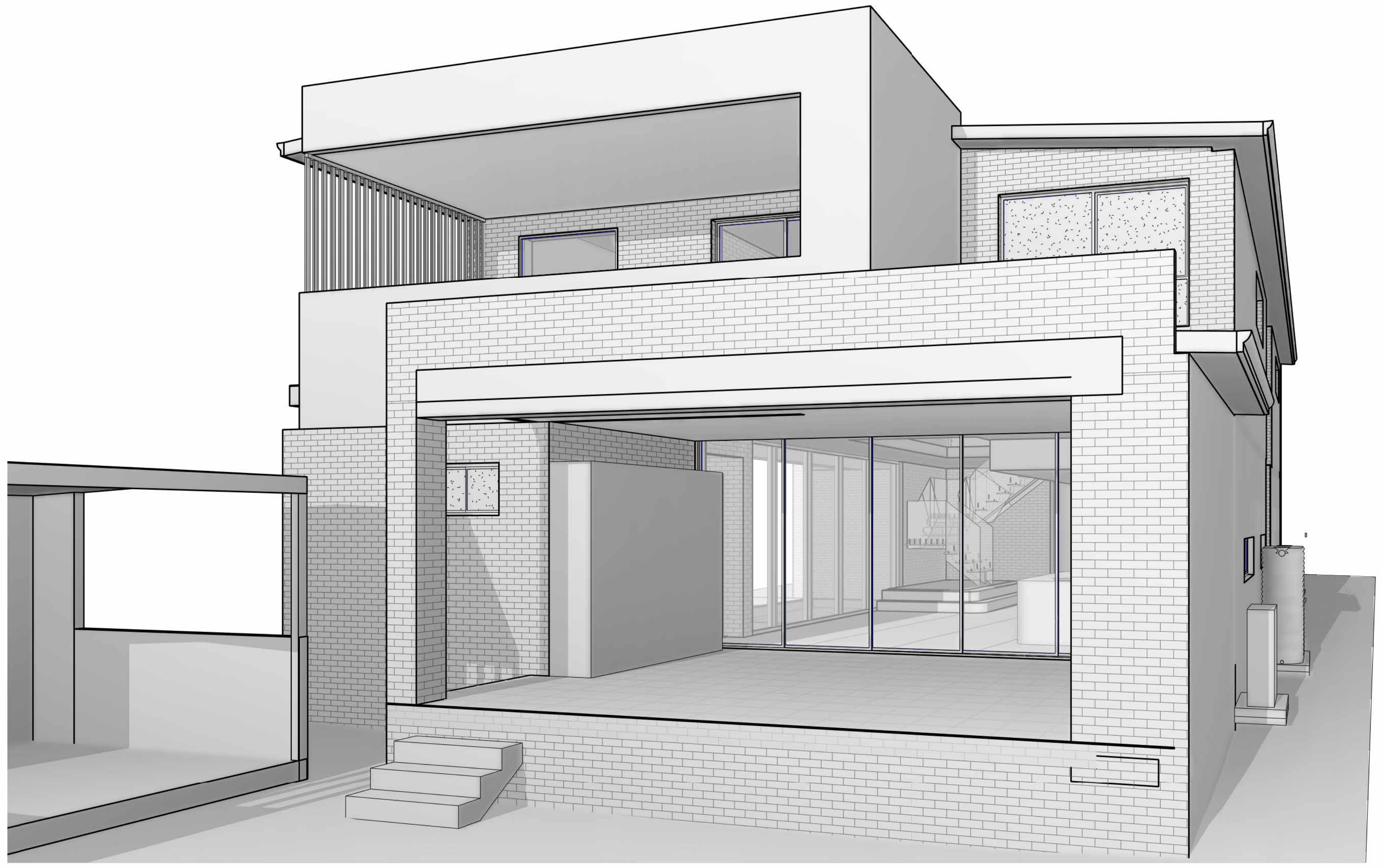
SCALE
As indicated

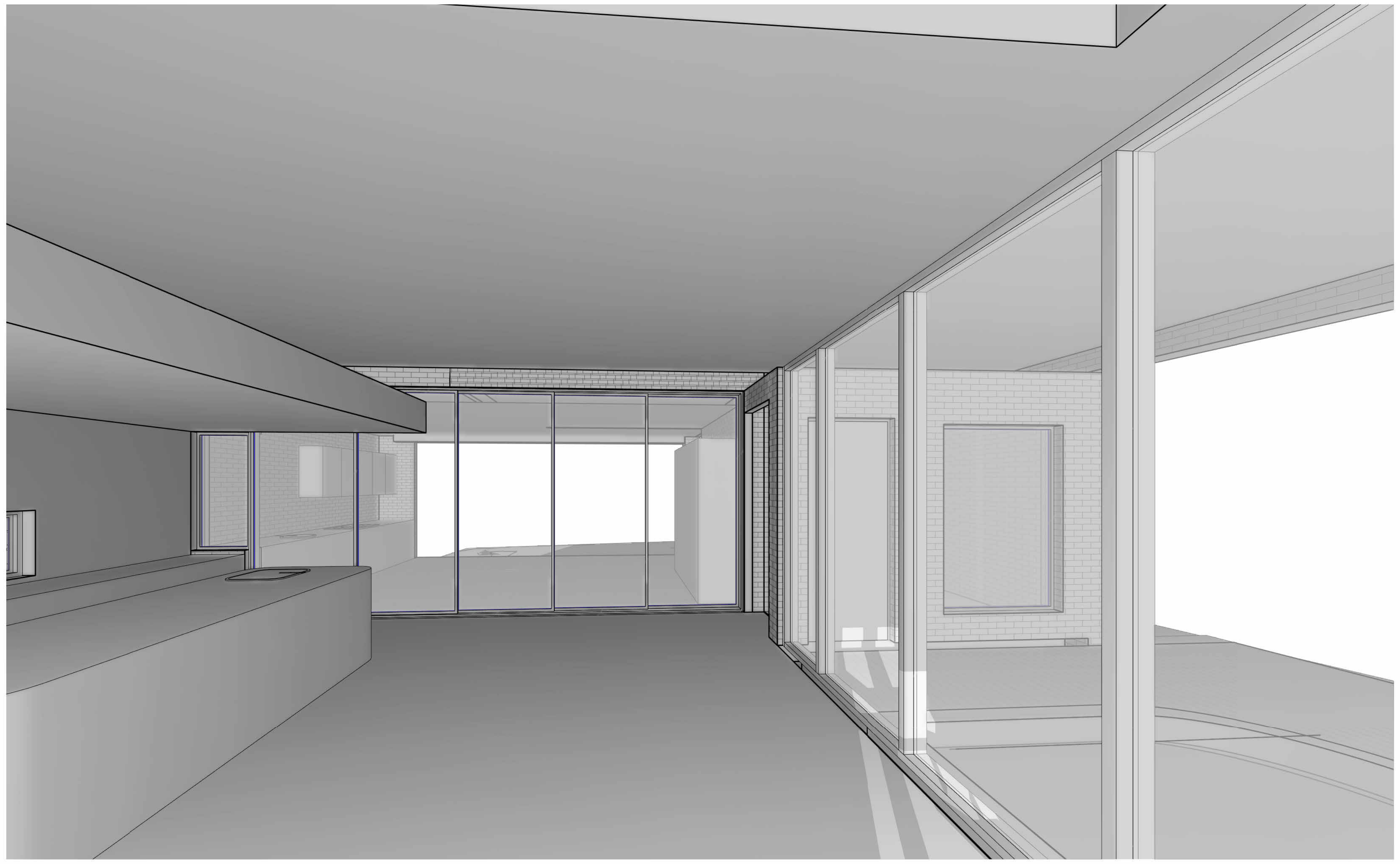
ISSUE
A

DRAWN BY
D.N

DRAWING NO.
S4.55 302

CHECKED BY
D.N





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REV	DATE	DESCRIPTION	INITIAL
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DRAWING DETAILS
3D PERSPECTIVE 01

START DATE
14/07/22

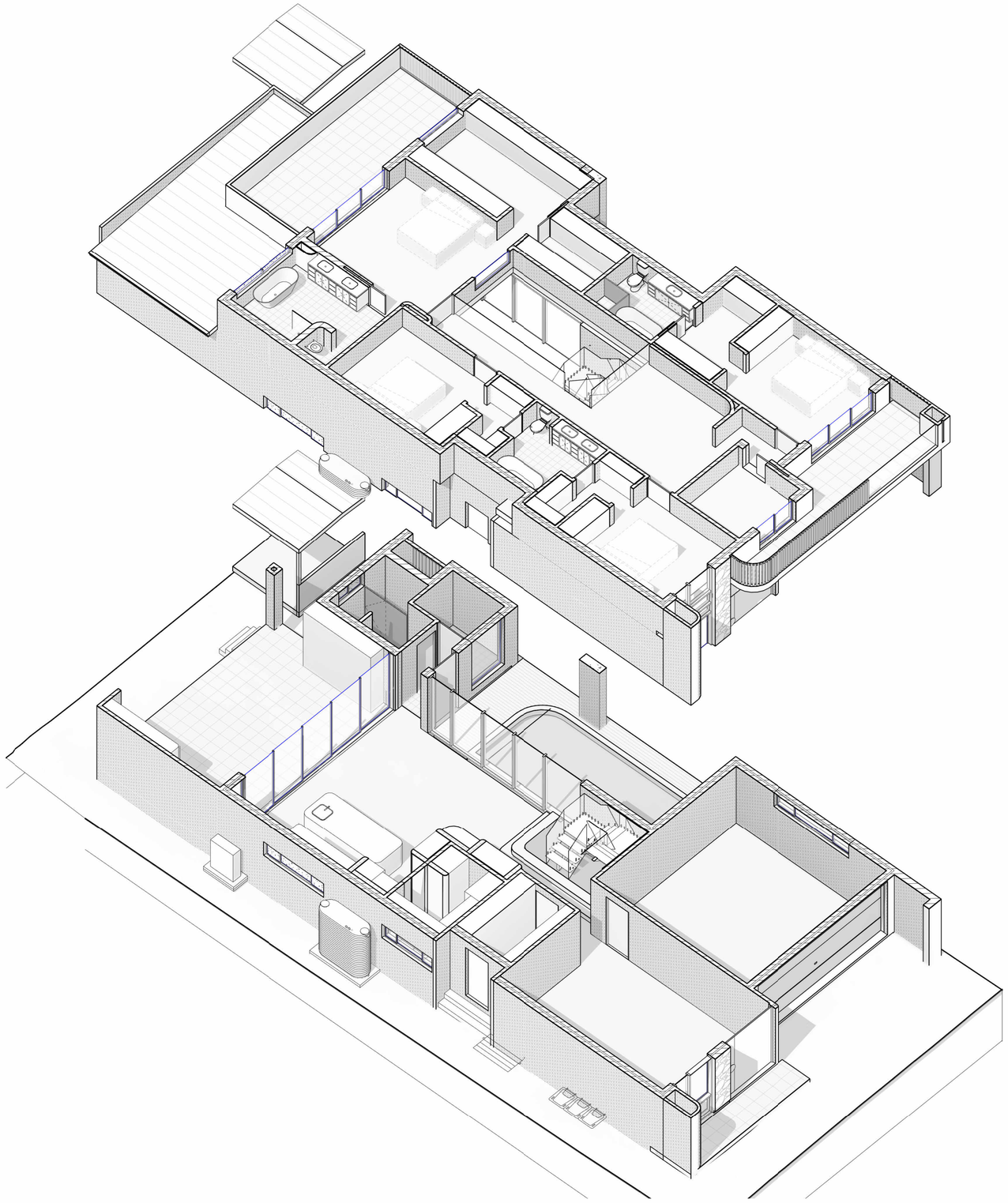
SCALE

ISSUE
A

DRAWN BY
D.N

DRAWING NO.
S4.55 303

CHECKED BY
D.N



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DRAWING DETAILS
3D PERSPECTIVE 02

START DATE
14/07/22

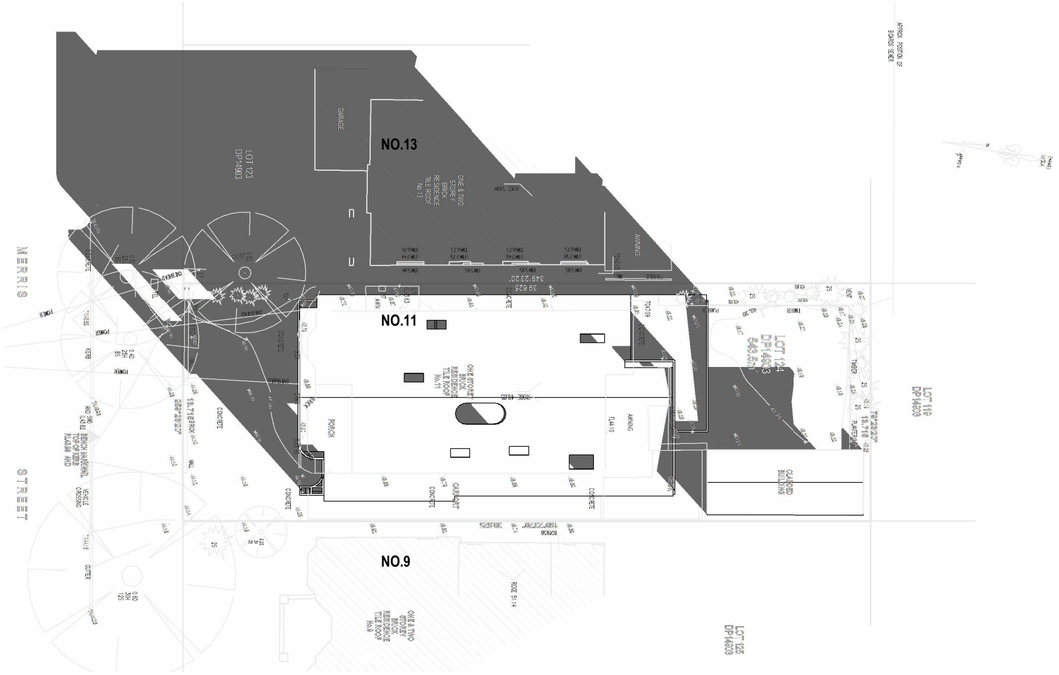
DRAWN BY
D.N

CHECKED BY
D.N.

SCALE

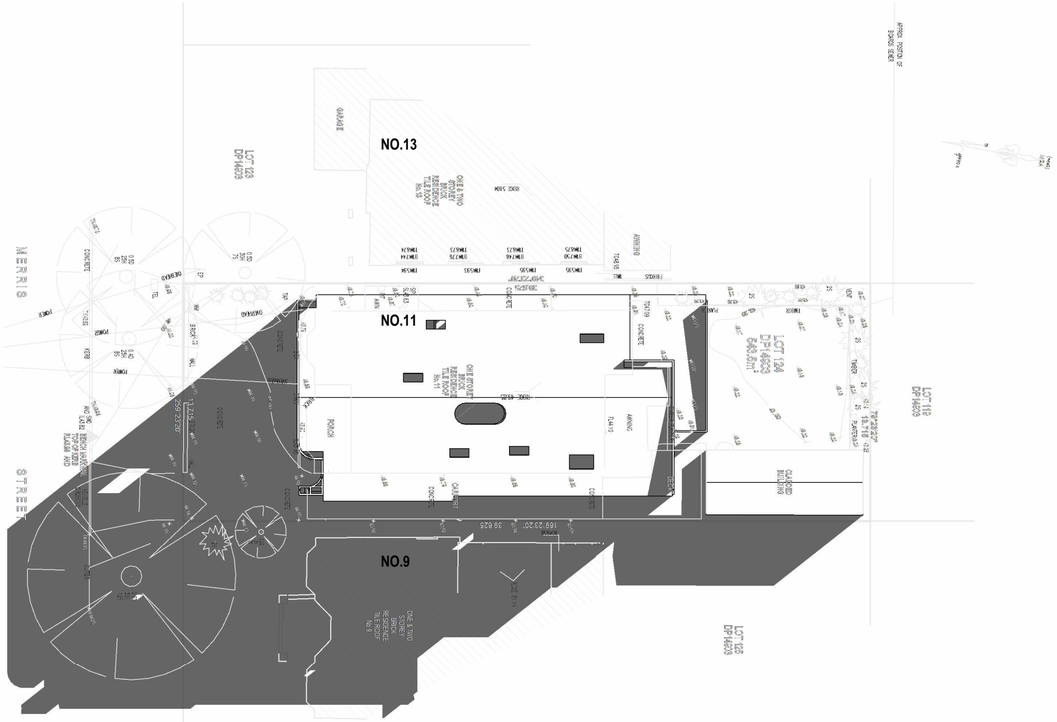
DRAWING NO.
S4.55 304

ISSUE
A



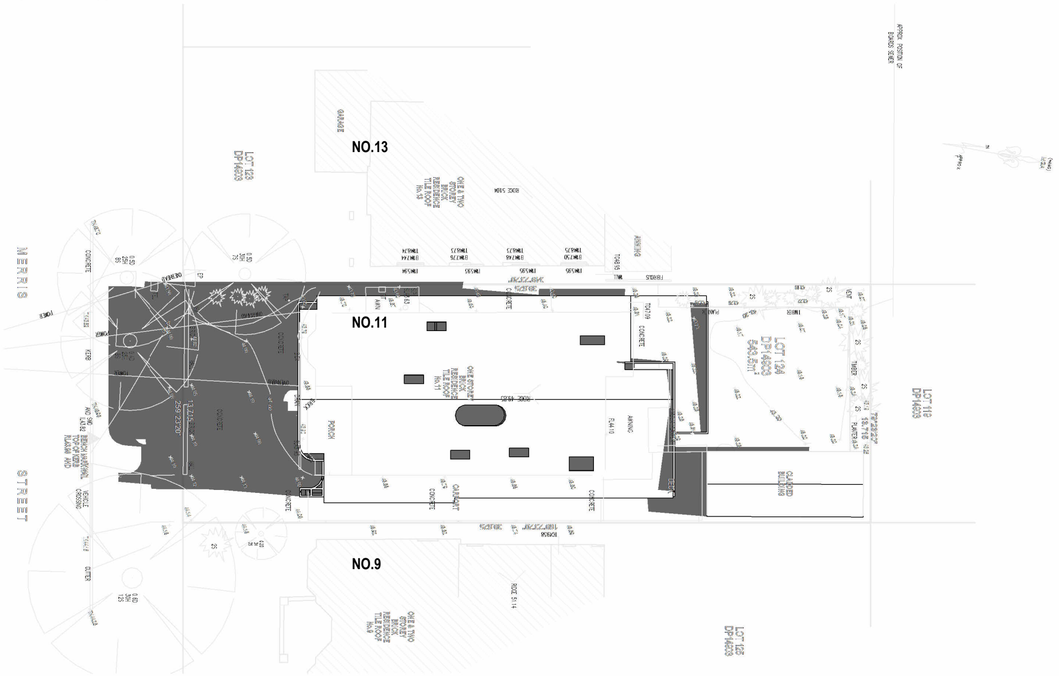
PROPOSED SHADOW DIAGRAMS AT 9.00 AM ON 21ST OF JUNE

SCALE: 1 : 250



PROPOSED SHADOW DIAGRAMS AT 3.00 PM ON 21ST OF JUNE

SCALE: 1 : 250



PROPOSED SHADOW DIAGRAMS AT 12.00 PM ON 21ST OF JUNE

SCALE: 1 : 250

BRYAN DESIGN
ARCHITECTURAL SOLUTIONS

Address: 511 Gardeners Road, Roseberry. NSW 2018
P : 0415 678 131
E : Info.bryandesign@gmail.com
W : Bryandesigns.com.au
ABN: 30 615 709 272

NOTE:

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PROJECT DETAILS:
PROPOSED TWO STOREY DWELLING DEVELOPMENT

AT
11 MERRIS STREET, KINGSGROVE

PROJECT NO.
22132

LOGGED AT
CANTERBURY-BANKSTOWN COUNCIL

PROJECT STATUS:
ISSUED FOR S4.55 SUBMISSION

CLIENT DETAILS:
MR. HUY

ISSUE DETAILS

REV	DATE	DESCRIPTION	INITIAL
A	2025.04.28	ISSUED FOR SECTION S4.55 APPROVAL ONLY	DN

DRAWING DETAILS
SHADOW DIAGRAMS

START DATE
05/10/23

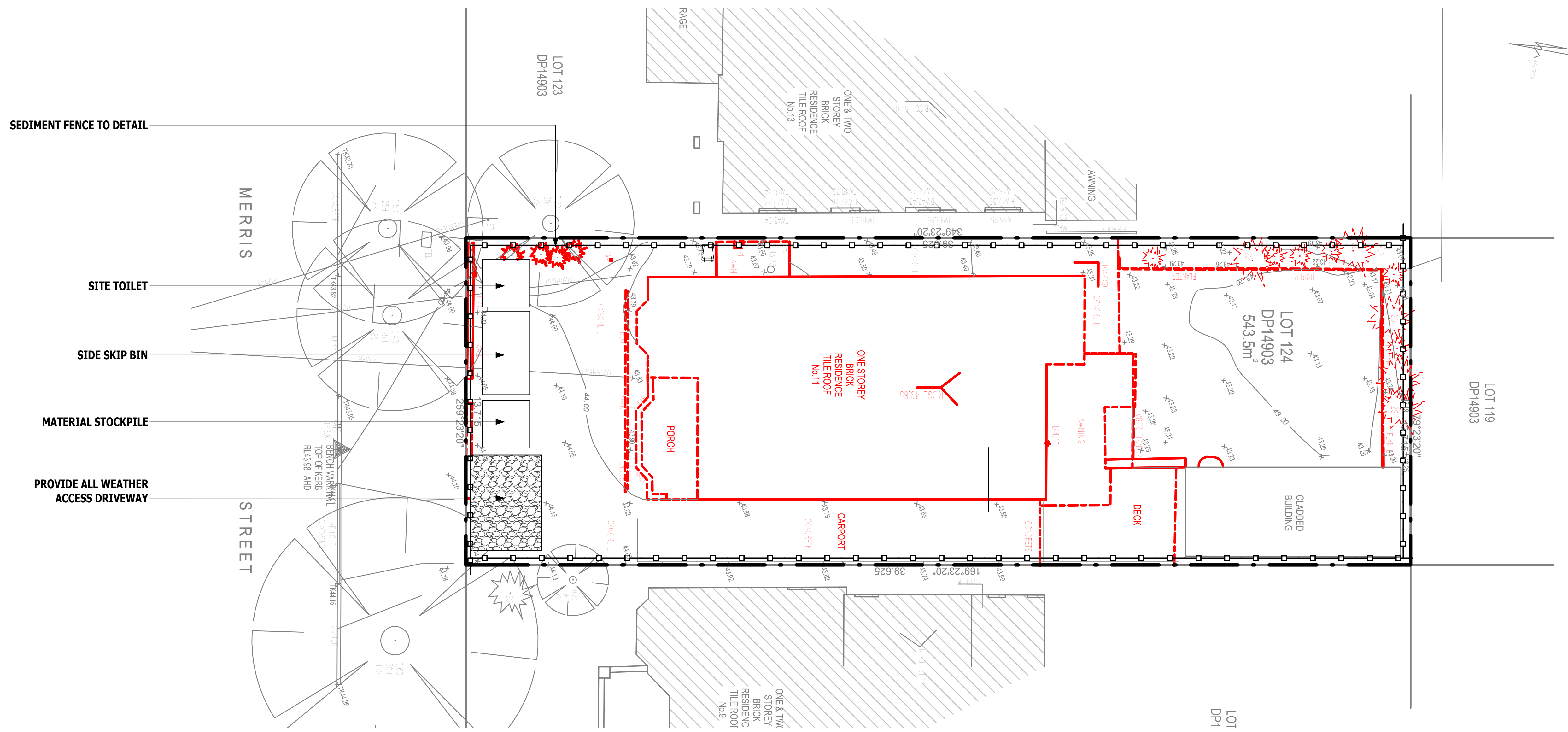
SCALE
1 : 250

ISSUE
A

DRAWN BY
D.N

DRAWING NO.
S4.55 400

CHECKED BY
D.N



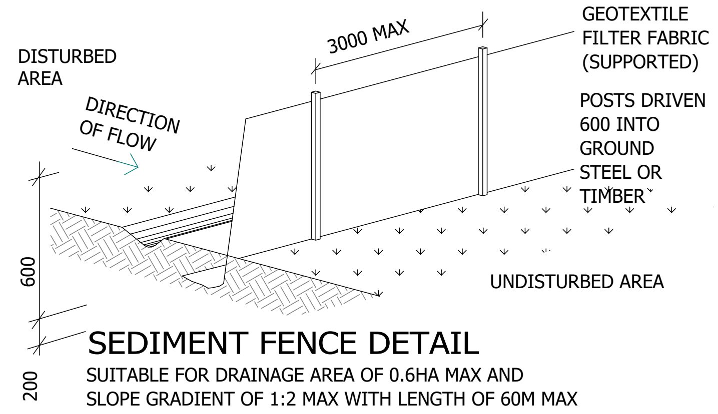
DEMOLISION, EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1 : 200

SEDIMENT CONTROL

INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.

IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION AND CONTROL OR BY COUNCIL REQUIREMENTS, REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANGEMENT.



SEDIMENT FENCE DETAIL

SUITABLE FOR DRAINAGE AREA OF 0.6HA MAX AND SLOPE GRADIENT OF 1:2 MAX WITH LENGTH OF 60M MAX

LEGEND

- EXSITING STRUCTURE TO BE DEMOLISED
- SEDIMENT FENCE
- EXISTING TREE TO BE REMOVED (T. NO)
- EXISTING TREE TO BE RETAINED (T. NO)

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22132

LOGGED AT
CANTERBURY-BANKSTOWN COUNCIL

PROJECT STATUS:
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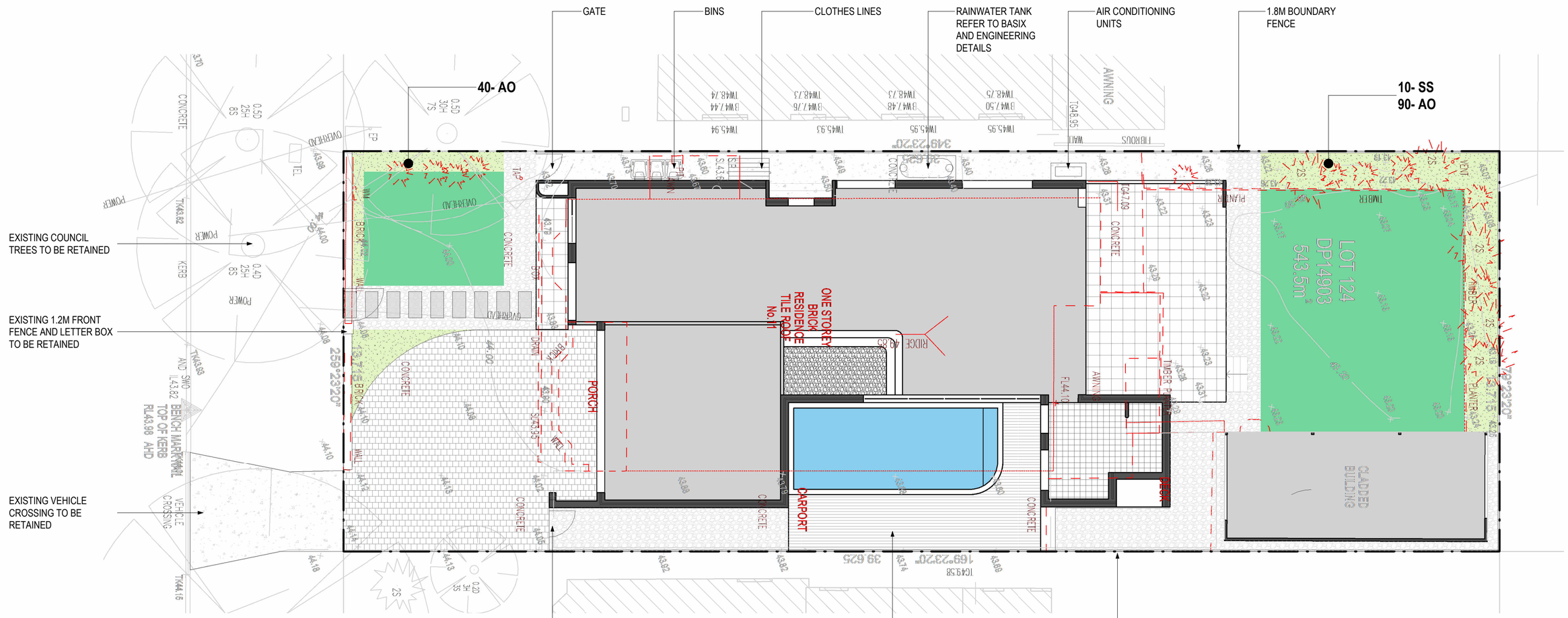
CLIENT DETAILS:
MR. HUY

ISSUE DETAILS

REV	DATE	DESCRIPTION	INITIAL
A	2025.04.28	ISSUED FOR SECTION S4.55 APPROVAL ONLY	DN

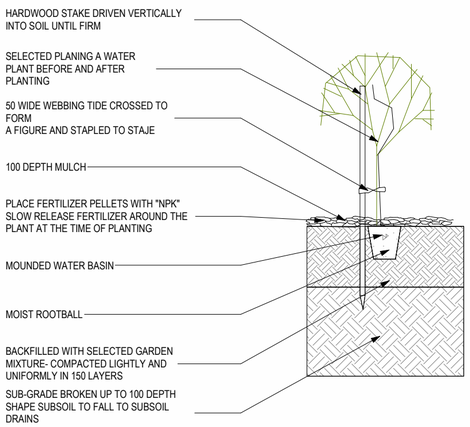
DRAWING DETAILS
DEMOLISION, EROSION, SEDIMENT CONTROL PLAN

START DATE: **14/07/22**
SCALE: **As indicated**
DRAWN BY: **D.N**
DRAWING NO.: **S4.55 500**
CHECKED BY: **D.N**
ISSUE: **A**



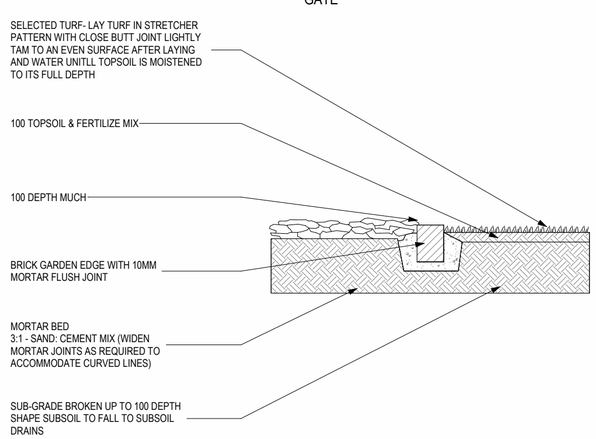
LANDSCAPE PLAN

SCALE: 1 : 100



NOTE:
CLAY SOIL SHALL BE IMPROVED BY ADDING GYPSUM AS PER MANUFACTURE SPECIFICATION

TREE & SHRUB PANTING IN GARDEN BED



NOTE:
ALIGNMENT OF BRICK EDGE SHALL BE EVEN & FREE FROM DIPS AND HUMPS

TURF & GARDEN EDGE DETAIL

PROPOSED PLANT SCHEDULE

IN ACCORDANCE WITH AS 2303:2015

NOTE	BOTANICAL NAME	COMMON NAME	APRX MATURED HEIGHT	POT SIZE	QUANTITY
GROUND COVER/ BOARDER					
AO	AGAPANTHUS ORIENTALLS	AGAPANTHUS	0.5M	150 MM	130
TALL SHRUBS					
SS	SYZYGLUM SUPERLOR	SUPERLOR LILY PILLY	3.0M	200 MM	10

LEGENDS:

- TURF AREA
- MULCH AREA
- DRIVEWAY PAVING
- GRAVEL PAVING
- PAVING PAVING

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CLIENT DETAILS:
MR. HUY

ISSUE DETAILS

REV	DATE	DESCRIPTION	INITIAL
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DRAWING DETAILS
LANDSCAPE PLAN

START DATE
14/07/22

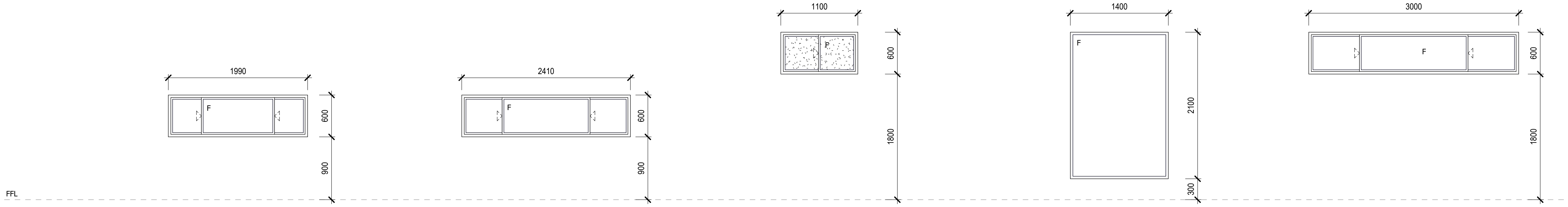
DRAWN BY
D.N

CHECKED BY
D.N

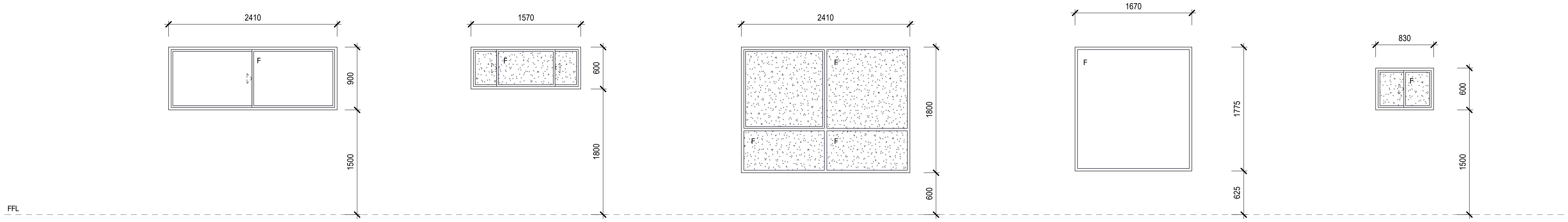
SCALE
As indicated

DRAWING NO.
S4.55 501

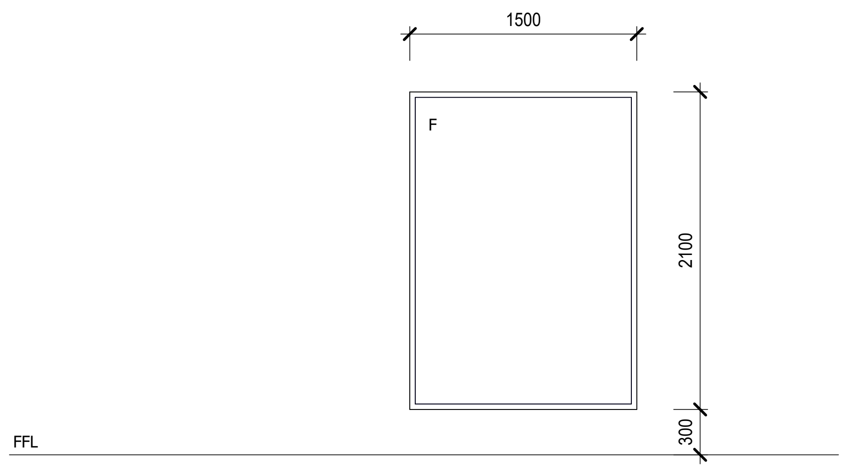
ISSUE
A



WINDOW NO:	W01	W02	W03	W04	W05
TYPE	3 PANELS, 1 FIXED, 2 SLIDING	3 PANELS, 1 FIXED, 2 SLIDING	2 PANELS, 1 FIXED, 1 SLIDING	1 FIXED PANEL	3 PANELS, 1 FIXED, 2 SLIDING
FRAME FINISH:	POWDER COATED ALUMINUM	POWDER COATED ALUMINUM	POWDER COATED ALUMINUM	POWDER COATED ALUMINUM	POWDER COATED ALUMINUM
FRAME TYPE:	ALUMINUM FRAME MIN. SIZE ACCORDING TO MANUFACTURE	ALUMINUM FRAME MIN. SIZE ACCORDING TO MANUFACTURE	ALUMINUM FRAME MIN. SIZE ACCORDING TO MANUFACTURE	ALUMINUM FRAME MIN. SIZE ACCORDING TO MANUFACTURE	ALUMINUM FRAME MIN. SIZE ACCORDING TO MANUFACTURE
LOCKS:	YES	YES	YES	NO	YES
QUANTITY	01	01	01	01	01



WINDOW NO:	W06, W08, W12	W07	W09	W10	W11
TYPE	2 PANELS, 1 FIXED, 1 SLIDING	3 PANELS, 1 FIXED, 2 SLIDING	3 FIXED PANELS, 1 AWNING	1 FIXED PANEL	2 PANELS, 1 FIXED, 1 SLIDING
FRAME FINISH:	POWDER COATED ALUMINUM	POWDER COATED ALUMINUM	POWDER COATED ALUMINUM	POWDER COATED ALUMINUM	POWDER COATED ALUMINUM
FRAME TYPE:	ALUMINUM FRAME MIN. SIZE ACCORDING TO MANUFACTURE	ALUMINUM FRAME MIN. SIZE ACCORDING TO MANUFACTURE	ALUMINUM FRAME MIN. SIZE ACCORDING TO MANUFACTURE	ALUMINUM FRAME MIN. SIZE ACCORDING TO MANUFACTURE	ALUMINUM FRAME MIN. SIZE ACCORDING TO MANUFACTURE
LOCKS:	YES	YES	NO	NO	YES
QUANTITY	03	01	01	01	01



WINDOW NO:	W13
TYPE	1 FIXED PANEL
FRAME FINISH:	POWDER COATED ALUMINUM
FRAME TYPE:	ALUMINUM FRAME MIN. SIZE ACCORDING TO MANUFACTURE
LOCKS:	NO
QUANTITY	01

WINDOW SCHEDULE

Mark	Width	Height
W01	1990	600
W02	2410	600
W03	1100	600
W04	1400	2100
W05	3000	600
W06	2410	900
W07	650	1500
W07	1570	600
W08	2410	900
W09	2410	1800
W10	1670	1775
W11	830	600
W12	2410	900
W13	1500	2100

ALUMINIUM SCHEDULE 01

Mark	Width	Height
SD01	6390	3000
SD02	1570	2400
SD03	2740	2400
SD04	3200	2400

ALUMINIUM SCHEDULE 02

Mark	Width	Height
A01	1570	6000
A02	6083	3000

LEGEND

FROSTED GLASS

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ARCHITECTURAL SOLUTIONS

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AT
11 MERRIS STREET, KINGSGROVE

PROJECT NO.
22132

LOGGED AT
CANTERBURY-BANKSTOWN COUNCIL

PROJECT STATUS:
ISSUED FOR S4.55 SUBMISSION

CLIENT DETAILS:
MR. HUY

ISSUE DETAILS

REV	DATE	DESCRIPTION	INITIAL
A	2025.04.28	ISSUED FOR SECTION S4.55 APPROVAL ONLY	DN

DRAWING DETAILS
WINDOWS & ALUMINUM DOOR SCHEDULE 1-2

START DATE
14/07/22

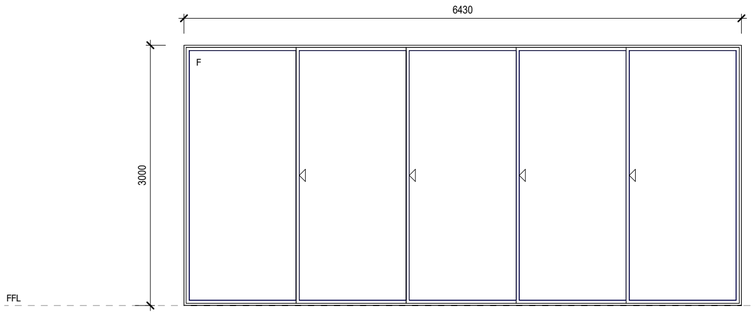
SCALE
As indicated

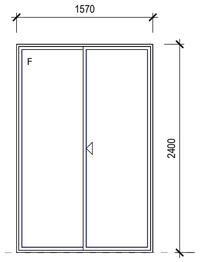
ISSUE
A

DRAWN BY
D.N

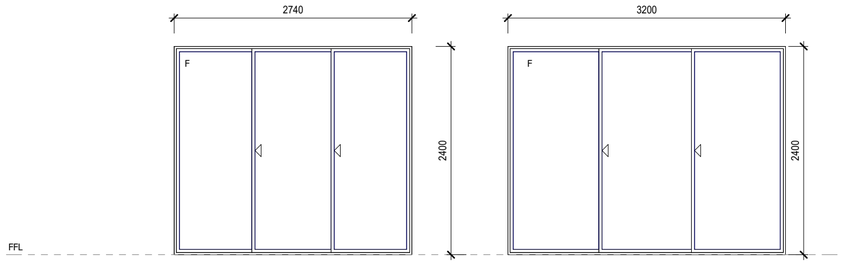
CHECKED BY
D.N

DRAWING NO.
S4.55 601

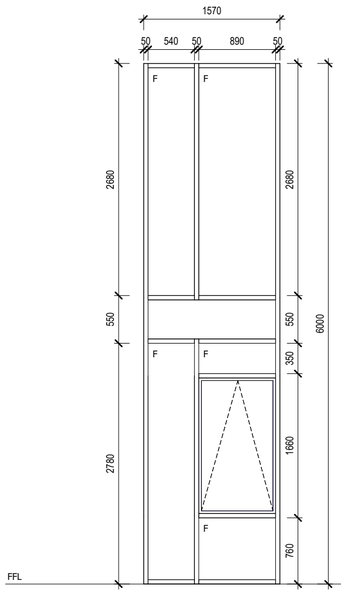


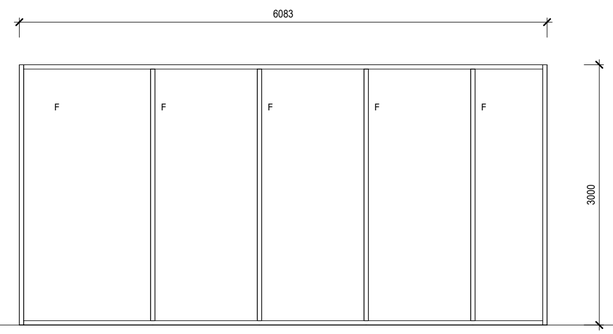


DOOR NO:	**SD01**	**SD02**
TYPE	5 PANELS, 1 FIXED, 4 SLIDING	2 PANELS, 1 FIXED, 1 SLIDING
FRAME FINISH:	POWDER COATED ALUMINUM	POWDER COATED ALUMINUM
FRAME TYPE:	ALUMINUM FRAME MIN. SIZE ACCORDING TO MANUFACTURE	ALUMINUM FRAME MIN. SIZE ACCORDING TO MANUFACTURE
LOCKS:	YES	YES
QUANTITY	01	01



DOOR NO:	**SD03**	**SD04**
TYPE	3 PANELS, 1 FIXED, 2 SLIDING	3 PANELS, 1 FIXED, 2 SLIDING
FRAME FINISH:	POWDER COATED ALUMINUM	POWDER COATED ALUMINUM
FRAME TYPE:	ALUMINUM FRAME MIN. SIZE ACCORDING TO MANUFACTURE	ALUMINUM FRAME MIN. SIZE ACCORDING TO MANUFACTURE
LOCKS:	YES	YES
QUANTITY	01	01





DOOR NO:	**A01**	**A02**
TYPE	7 PANELS, 6 FIXED, 1 AWNING	5 FIXED PANELS
FRAME FINISH:	POWDER COATED ALUMINUM	POWDER COATED ALUMINUM
FRAME TYPE:	ALUMINUM FRAME MIN. SIZE ACCORDING TO MANUFACTURE	ALUMINUM FRAME MIN. SIZE ACCORDING TO MANUFACTURE
LOCKS:	YES	NO
QUANTITY	01	01

WINDOW SCHEDULE

Mark	Width	Height
W01	1990	600
W02	2410	600
W03	1100	600
W04	1400	2100
W05	3000	600
W06	2410	900
W07	650	1500
W07	1570	600
W08	2410	900
W09	2410	1800
W10	1670	1775
W11	830	600
W12	2410	900
W13	1500	2100

ALUMINIUM SCHEDULE 01

Mark	Width	Height
SD01	6390	3000
SD02	1570	2400
SD03	2740	2400
SD04	3200	2400

ALUMINIUM SCHEDULE 02

Mark	Width	Height
A01	1570	6000
A02	6083	3000

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CLIENT DETAILS:
MR. HUY

ISSUE DETAILS

REV	DATE	DESCRIPTION	INITIAL
A	2025.04.28	ISSUED FOR SECTION S4.55 APPROVAL ONLY	DN

DRAWING DETAILS
WINDOWS & ALUMINUM DOOR SCHEDULE 1-2

START DATE
14/07/22

SCALE
1 : 50

ISSUE
A

DRAWN BY
D.N

DRAWING NO.
S4.55 602

CHECKED BY
D.N

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1756603S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 22 July 2024
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.

Project summary	
Project name	11 MERRIS STREET, KINGSGROVE
Street address	11 MERRIS Street KINGSGROVE 2208
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	Deposited Plan DP14903
Lot no.	124
Section no.	-
Project type	dwelling house (detached)
No. of bedrooms	4

Project score		
Water	✔ 42	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 79	Target 72
Materials	✔ -100	Target n/a

Certificate Prepared by
Name / Company Name: Bryan Design Pty Ltd
ABN (if applicable): 30615709272

Description of project

Project address	
Project name	11 MERRIS STREET, KINGSGROVE
Street address	11 MERRIS Street KINGSGROVE 2208
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	Deposited Plan DP14903
Lot no.	124
Section no.	-
Project type	
Project type	dwelling house (detached)
No. of bedrooms	4
Site details	
Site area (m²)	544
Roof area (m²)	233
Conditioned floor area (m²)	267.58
Unconditioned floor area (m²)	5.0
Total area of garden and lawn (m²)	122
Roof area of the existing dwelling (m²)	0

Assessor details and thermal loads		
Assessor number	n/a	
Certificate number	n/a	
Climate zone	n/a	
Area adjusted cooling load (MJ/m².year)	n/a	
Area adjusted heating load (MJ/m².year)	n/a	
Project score		
Water	✔ 42	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 79	Target 72
Materials	✔ -100	Target n/a

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 26.9 square metres of the site.	✔	✔	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 118.5 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to:			
• all toilets in the development		✔	✔
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✔	✔

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Swimming Pool			
The swimming pool must not have a volume greater than 25 kilolitres.	✔	✔	
The swimming pool must be shaded.	✔	✔	
The swimming pool must be outdoors.	✔	✔	

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Do-it-yourself Method			
General features			
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	✔	✔	✔
The conditioned floor area of the dwelling must not exceed 300 square metres.	✔	✔	✔
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✔	✔	✔
The dwelling must not contain third level habitable attic room.	✔	✔	✔
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	✔	✔	✔
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✔

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground, waffle pod slab.	181	nil;not specified	nil	
floor - suspended floor above enclosed subfloor, concrete - suspended; frame: no frame.	3	nil;none	nil	subfloor wall insulation: None
floor - above habitable rooms or mezzanine, concrete - suspended; frame: no frame..	70	nil;none	nil	

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - suspended floor above garage, concrete - suspended; frame: no frame.	36	nil;none	nil	
garage floor - concrete slab on ground, waffle pod slab.	36	none	nil	
external wall: cavity brick; frame: no frame.	182	0.50 (or 1.20 including construction);rockwool batts, roll or pump-in	nil	wall colour: Light (solar absorptance < 0.48)
external wall: brick veneer; frame: timber - untreated softwood.	215	2.94 (or 3.50 including construction);rockwool batts, roll or pump-in	nil	wall colour: Light (solar absorptance < 0.48)
external garage wall: cavity brick; frame: no frame.	35	none	nil	
internal wall shared with garage: single skin masonry; frame: no frame.	17.5	nil;none	nil	
internal wall: plasterboard; frame: timber - untreated softwood.	172.53	none	nil	
internal wall: single skin masonry; frame: no frame.	81.9	none	nil	
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - untreated softwood.	232.85	ceiling: 5.2 (up), roof: foil/sarking ;ceiling: fibreglass batts or roll; roof: foil/sarking.	nil	roof colour: light (solar absorptance < 0.38); 0.5 to ≤ 1.0% of ceiling area uninsulated

Note	• Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.
Note	• If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (6)) of the National Construction Code.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.
Note	• Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Ceiling fans			
The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.	✔	✔	✔
• The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code .	✔	✔	✔

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazed windows, doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.	✔	✔	✔
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✔	✔	✔
The following requirements must also be satisfied in relation to each window and glazed door:	✔	✔	✔
• The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.	✔	✔	✔
• Each window and glazed door must have a U- value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✔	✔
• Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.	✔	✔	✔
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✔	✔	✔

Skylight no.	Maximum area (m²)	Skylight specification	Shading device
S01	0.36	aluminium, single clear (U: <=7.3, SHGC: 0.75 - 0.83)	no shading
S02	0.36	aluminium, single clear (U: <=7.3, SHGC: 0.75 - 0.83)	no shading
S03	0.36	aluminium, single clear (U: <=7.3, SHGC: 0.75 - 0.83)	no shading
S04	0.36	aluminium, single clear (U: <=7.3, SHGC: 0.75 - 0.83)	no shading
S05	0.72	aluminium, single clear (U: <=7.3, SHGC: 0.75 - 0.83)	no shading

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
North facing					
W03	600.00	1570.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.49 - 0.60)	none	not overshadowed
SD04	1800.00	2400.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.49 - 0.60)	awning (fixed) 2880 mm, 2750 mm above base of window or glazed door	not overshadowed
W10	2100.00	2600.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.49 - 0.60)	awning (fixed) 2880 mm, 2750 mm above base of window or glazed door	not overshadowed
SD01	2400.00	6000.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.49 - 0.60)	awning (fixed) 4500 mm, 350 mm above base of window or glazed door	not overshadowed
W09	2400.00	1800.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.49 - 0.60)	eave 450 mm, 350 mm above head of window or glazed door	not overshadowed
East facing					
A02	3100.00	6000.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.49 - 0.60)	eave 450 mm, 350 mm above head of window or glazed door	>4 m high, 2-5 m away
W05	600.00	3000.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.49 - 0.60)	none	>4 m high, 2-5 m away
W12	900.00	2410.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.49 - 0.60)	eave 450 mm, 350 mm above head of window or glazed door	>4 m high, 2-5 m away
W11	600.00	830.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.49 - 0.60)	eave 450 mm, 350 mm above head of window or glazed door	>4 m high, 2-5 m away
South facing					

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PROJECT DETAILS:
PROPOSED TWO STOREY DWELLING DEVELOPMENT

AT
11 MERRIS STREET, KINGSGROVE

PROJECT NO.
22132

LOGGED AT
CANTERBURY-BANKSTOWN COUNCIL

PROJECT STATUS:
ISSUED FOR S4.55 SUBMISSION

CLIENT DETAILS:
MR. HUY

ISSUE DETAILS

REV	DATE	DESCRIPTION	INITIAL
A	2025.04.28	ISSUED FOR SECTION S4.55 APPROVAL ONLY	DN

DRAWING DETAILS
BASIX COMMITMENT 1-2

START DATE
14/07/22

SCALE
1 : 215

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D.N

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
W04	2100.00	1400.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.49 - 0.60)	solid overhang 8500 mm, 350 mm above head of window or glazed door	not overshadowed
A01	5750.00	1570.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.49 - 0.60)	none	not overshadowed
SD02	2400.00	1570.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.49 - 0.60)	none	not overshadowed
SD03	2740.00	2400.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.49 - 0.60)	awning (fixed) 2200 mm, 350 mm above base of window or glazed door	not overshadowed
West facing					
W01	600.00	1990.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.49 - 0.60)	none	>4 m high, 2-5 m away
W02	600.00	2410.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.49 - 0.60)	none	>4 m high, 2-5 m away
W06	900.00	2410.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.49 - 0.60)	eave 450 mm, 350 mm above head of window or glazed door	>4 m high, 2-5 m away
W07	600.00	1570.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.49 - 0.60)	eave 450 mm, 350 mm above head of window or glazed door	>4 m high, 2-5 m away
W08	900.00	2410.00	aluminium, single glazed (U-value: <=2.5, SHGC: 0.49 - 0.60)	eave 450 mm, 350 mm above head of window or glazed door	>4 m high, 2-5 m away

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 7 stars.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: airconditioning ducting only; Energy rating: n/a		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: airconditioning ducting only; Energy rating: n/a		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: airconditioning ducting only; Energy rating: n/a		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: airconditioning ducting only; Energy rating: n/a		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a		✔	✔
Kitchen: individual fan, ducted to façade or roof; Operation control: interlocked to light		✔	✔
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✔	✔
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Swimming pool			
The development must not incorporate any heating system for the swimming pool.		✔	
The applicant must install the following pump for the swimming pool in the development, or a pump with a higher energy rating: dual speed with a performance of 7 stars.		✔	
The applicant must install a timer for the swimming pool pump in the development.		✔	
Alternative energy			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	✔	✔	✔
The photovoltaic system must consist of: • photovoltaic collectors with the capacity to generate at least 2 peak kilowatts of electricity, installed at an angle between 0 degrees and 10 degrees to the horizontal facing west	✔	✔	✔
Other			
The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling.		✔	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✔ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

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CLIENT DETAILS:
MR. HUY

ISSUE DETAILS

REV	DATE	DESCRIPTION	INITIAL
A	2025.04.28	ISSUED FOR SECTION S4.55 APPROVAL ONLY	DN

DRAWING DETAILS
BASIX COMMITMENT 2-2

START DATE
14/07/22

SCALE
1 : 215

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D.N

DRAWING NO.
S4.55 701

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D.N

1. Render & Paint Finish-
Dulux Lexicon Half colour (or equivalent)

2. External feature wall-
Multi color sand stone cladding (or equivalent)

3. Timber Entry door
Teal timber door (or equivalent)

4. Powder coated aluminum window & door frames-
Colorbond Monument colour (or equivalent)

5. Knotwood battens-
Dulux Miller wood colour (or equivalent)

6. Garage door-
Aucobond A4 (or equivalent)

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MR. HUY

ISSUE DETAILS

REV	DATE	DESCRIPTION	INITIAL
A	2025.04.28	ISSUED FOR SECTION S4.55 APPROVAL ONLY	DN

DRAWING DETAILS
SCHEDULE OF FINISHES

START DATE
14/07/22

SCALE

ISSUE
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D.N

DRAWING NO.
S4.55 800

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D.N